



SURVEYOR'S OFFICE

Hamilton County

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Surveyor of Hamilton County
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Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

March 20, 2012

To: Hamilton County Drainage Board

Re: Miller-Carson Drain Reconstruction
Atlanta – OCRA Storm Water Improvement Grant

Attached is a petition, plans, drainage shed map and schedule of assessments for the reconstruction of the Miller-Carson & Whisler-Brenner Drain. This drain is currently number seven (7) on the 2011 Classification List for reconstruction approved by the Board on February 28, 2011 (See Hamilton County Drainage Board Minutes Book 13, pages 289-291).

The Miller-Carson & Whisler-Brenner Drain was petitioned for reconstruction by the Town Council of Atlanta on November 12, 2010 and presented to the Drainage Board at the November 22, 2010 meeting of the Hamilton County Drainage Board (see Hamilton County Drainage Board Minutes Book 13, page 212).

The Miller-Carson Drain at one time was known as the John Kaufman Drain was established by order of the Commissioner's Court, Report of Ditch Viewers, September 12, 1898. This drain has a main ditch with four (4) arms and serves part of the Town of Atlanta. The drain is 11,000 feet in length.

A reconstruction of the Miller-Carson & Whisler-Brenner Drain was requested per the County Surveyor's Report dated January 13, 1980 (see Hamilton County Drainage Board Minutes Book 1, page 394) and was approved by the Hamilton County Drainage Board on May 4, 1981 (see Hamilton County Drainage Board Minutes Book 1, page 410). This reconstruction consisted of dredging 1,600 linear feet of the Whisler-Brenner Drain's open channel, two (2) sediment traps, some clearing, a rock chute structure, a pipe drop structure and clearing out the culverts under the railroad and S.R. 19.

The Miller-Carson & Whisler-Brenner Drain was certified for assessment for maintenance by the Hamilton County Drainage Board on May 4, 1981 (see Hamilton County Drainage Board Minutes Book 1, page 410). The overall drainage shed for both drains is 936.08 acres and 217 lots. Note that the maintenance assessment is for both drains. The proposed reconstruction and the reconstruction assessment discussed in the report is only for the Miller-Carson Drain and its associated drainage shed.

The Board approved an increase to this assessment on June 22, 2009 (see Hamilton County Drainage Board Minutes Book 12, pages 94-96). Currently the drain is assessed at the following rates:

1. Maintenance assessment for roads and streets at \$10.00 per acre.
2. Maintenance assessment for agricultural tracts at \$3.00 per acre with a \$15.00 minimum.
3. Maintenance assessments for non-platted residential tracts are set at \$3.00 per acre with a \$15.00 minimum outside of the town limits of Atlanta. Non-platted residential tracts within the town limits of Atlanta should be assessed as outlined in paragraph five (5) below.
4. Maintenance assessments for institutional, commercial and multi-family residential tracts are set at \$10.00 per acre with a \$75.00 minimum.
5. Maintenance assessments for platted lots in subdivisions whose drainage system will not be part of the regulated drain and are maintained by the Town of Atlanta are set at \$35.00 per lot/minimum. Common areas within non-regulated drain subdivision are assessed at \$5.00 per acre with a \$35.00 minimum.
6. Maintenance assessments for platted lots within a subdivision whose drainage system will be part of the regulated drain are set at \$65.00 per lot minimum. Common areas within regulated drain subdivisions are set at \$10.00 per acre with a \$65.00 minimum.

The above rates collect an annual assessment of \$14,083.70. The maintenance fund currently has a balance of \$36,911.69.

The period of collections is 8 years per IC 36-9-27-43. The proposed reconstruction project will not increase the current rates or collection period as listed above.

There are no outstanding work orders on this drain.

Known Problems:

The Town of Atlanta's storm water system is nearing 100 years old and improvements to this system have been a top priority since 2008. In some areas the lines are not adequately sized to handle the volume of flow. Runoff overburdens the capacity of the storm drains. During moderate to severe rain events the storm drain lines are at capacity and backs water up significantly flooding streets and properties.

The downstream regulated drain is a 27" drain (Miller-Carson Main Drain) that routes storm water south to its intersection with the west to east open ditch, the Whisler-Brenner Drain. This drain is too small and requires upsizing to reduce the backflow that causes a substantial amount of water to pond and flood the roadways north of S.R. 19.

Triad Associates prepared a preliminary engineering report (PER) in 2009 for the Town of Atlanta. In the PER, it explains the soils surrounding the town are poorly drained and have high seasonal ground water levels. These properties along with the nearly level topography provide the ideal conditions for standing water.

Property owners report flooding in their garages and around their homes with as little as a 0.2" rain event. Residents report foundation damage and mold due to water, along with sewage backups into homes.

The Town of Atlanta distributed a questionnaire to the residents and 30 replies were received. The following landowners listed extensive flooding issues, sewage backups, costly building damage and financial hardship due to the storm water inundations:

- Richard Dial
- Greg & Charlotte Wilson
- Aggie Thatcher
- Tom & Tammy House
- Kim Phifer
- Ed Worl
- Larry & Nellie Dantrick
- Roy Robey
- Lois Elliott
- Dennis P. Tank
- Mike & Lea Tolley
- Edward Miller
- Patricia Jinrie
- Chet Phifer
- Rebecca Kaufman
- Fred Farley
- Princess Cherry
- Aggie Thatcher
- Joe & Mary Ellen McBane
- Beverly S. Gasko
- John F. Benge
- Jack Leach
- Robyn Emmert
- David Langolf Smith
- Frances Jones
- Tim Teal
- Elise Cowan
- Kathy Howard
- Tom Harber
- Peter & Christal Young

Flooding creates dangerous situations with the Wastewater Treatment Plant. The town's Wastewater Treatment Plant has exceeded its capacity 32 times from 2008 to 2011. When this occurs the town must open the bypass to manage storm water flows resulting in violations and is currently under an IDEM Agreed Order. In the agreed order it states that the plant has high ammonia levels and continues to discharge raw sewage into Big Cicero Creek.

Another important aspect of this project is the preservation of the town's well field and water treatment plant. Currently without appropriate storm water infrastructure the Town's drinking water supply is in danger of contamination. On June 15, 2010 and again in May of 2011, the flooding nearly contaminated the water treatment plant and wells with over four (4) feet of water. This happens about five (5) times per year and the water utility staff must use a boat to enter the water treatment facility.

Reconstruction Project:

The reconstruction project will include enhancements to the piped Miller-Carson Drain from the north side of S.R. 19 in Atlanta, south within the regulated drain easement and outfall to the Whisler-Brenner Open Regulated Drain. In addition, new regulated drains will be added within the Town of Atlanta that will connect to existing regulated drains. See the attached map. Project improvements are listed below.

Miller-Carson Drain and Miller-Carson Arm 1 (South of S.R. 19)

2,201 linear feet of 60" RCP will replace the existing 20" to 27" Miller-Carson Drain and Miller-Carson Arm 1 from proposed plan Manhole #8 to the outlet at the Whisler-Brenner Open Regulated Drain. Included in this reach are nine (9) 8' diameter manholes. 286th Street will be open cut for pipe installation and then repaired per Hamilton County Highway Standards. The outfall to the Whisler-Brenner Open Drain will be stabilized with 40 yards of rip rap and will include one (1) concrete pipe support with concrete pipe anchor.

Miller-Carson Arm 1 of 1 (East Railroad Street)

379 linear feet of 12" RCP will be installed within platted right of way in East Railroad Street. It will be installed from Washington Street, south to the south side of East Kaufman Street where it will outlet to existing plan Structure #41 of the existing 12" Miller-Carson Arm 1 Regulated Drain. One (1) new 4' diameter manhole and one (1) inlet will be added.

Miller-Carson Arm 5 (Monroe Street)

1,169 linear feet of 12" RCP will be installed within platted right of way in Monroe Street. It will be installed from South Central Avenue, west to outlet into the existing 18" Miller-Carson Drain at the proposed plan Manhole #13. Four (4) new 4' diameter manholes and thirteen (13) inlets will be added.

Miller-Carson Arm 2 of 1 (Jackson Street)

100 linear feet of 48" RCP Jack and Bore will be constructed under S.R. 19 from proposed plan Manhole #9 to plan Manhole #8. 1,060 linear feet of 12" RCP will be installed within platted right of way in Jackson Street. It will be installed from South Central Street, west, past South Indiana Street to proposed plan Manhole #9 at the north side of the 48" RCP Jack and Bore. The 12" RCP continues northwest along S.R. 19 and connects the existing Miller-Carson Drain with proposed plan Manhole #10A and then connects the existing Miller-Carson Arm 1 with proposed plan Manhole #10. Four (4) new 4' diameter manholes will be added and five (5) inlets will be added.

Miller-Carson Drain Arm 2 of 1 (South Indiana Street)

Eighty two (82) linear feet of 12" RCP will be installed within platted right of way within South Indiana Street. It will be installed from proposed plan Manhole #11 at Jackson Street, south to proposed plan Manhole #17. Two (2) new 4' diameter manholes and five (5) inlets will be added.

Total project components include one hundred (100) linear feet of 48" RCP Jack and Bore under S.R. 19, 2,201 linear feet of 60" RCP, 2,690 linear feet of 12" RCP, nine (9) 8' diameter manholes, eleven (11) 4' manholes, and 24 inlets. A total of 4,991 linear feet of new storm water pipe will be installed as a result of this federally assisted project.

Project Costs:

Miller-Carson & Whisler-Brenner Regulated Drain	Unit	Unit Cost	Quantity	Est. Cost
60" RCP Storm Line	LF	\$ 200.00	2,201	\$ 440,200.00
Rip Rap/Concrete Pipe Anchor	Ea	\$11,000.00	1	\$ 11,000.00
12" Storm Line	LF	\$ 75.00	2,690	\$ 201,750.00
Manholes (8' diameter)	Ea	\$ 9,000.00	9	\$ 81,000.00
Manholes (4' diameter)	Ea	\$ 3,500.00	11	\$ 38,500.00
Inlets	Ea	\$ 2,500.00	24	\$ 60,000.00
**48" RCP Bored Under Highway (paid by State)	LF	\$ 650.00	100	<u>\$ 65,000.00</u>
			Subtotal Capital Costs	\$ 897,450.00
			15% Contingency	\$ 134,617.50
			Grant Admin./Labor Stand.	\$ 45,000.00
			Engineering	\$ 83,250.00
			Inspection & Staking	<u>\$ 34,250.00</u>
			Subtotal Soft Costs	\$ 162,500.00
			Project Cost	<u>\$1,194,567.50</u>

**The cost of the new structure under S.R. 19 shall be assessed to the Indiana Department of Transportation as per IC 36-9-27-71.

This project is a partnership between the Town of Atlanta and the Hamilton County Drainage Board. The Atlanta Town Council is proposing to use a Community Development Block Grant (CDBG) recently awarded by the Office of Community and Rural Affairs (OCRA) in the amount of \$600,000.00 to offset the proposed \$1,194,567.50 reconstruction project. The cost of the bore under S.R. 19 of \$65,000.00 shall be assessed to the State Highway as a special assessment. The remaining cost, \$529,567.50 shall be spread over the entire benefitted drainage shed. A memorandum of understanding (MOU) and Letter of Commitment between the Town of Atlanta and the Hamilton County Drainage Board was approved by the Hamilton County Drainage Board on September 26, 2011 (See Hamilton County Drainage Board Minutes Book 13, page 586).

The Drainage Board previously approved a transfer of \$25,000.00 from the General Drain Improvement Fund (GDIF) to the Legacy Foundation on August 22, 2011 (see Hamilton County Drainage Board Minutes Book 13, page 543). These funds would be a part of the total reconstruction project assessment of \$529,567.50. Upon approval of this project the Legacy Fund will return the \$25,000.00 to the Hamilton County General Drain Improvement Fund (GDIF). In the event this reconstruction project does not go forward, the \$25,000.00 will be returned by the Legacy Fund to GDIF.

Engineering and Design:

Triad & Associates prepared the preliminary engineering report in 2009. The Town of Atlanta obtained a \$30,000.00 grant to pay for this study.

In this study, Triad states that Atlanta lies within the White River Basin. The region receives approximately 39.5 inches of precipitation annually. Their hydrologic calculations were based upon the Rational Method and a 10-year storm event.

On December 19, 2011 the existing Atlanta Town Board, the future Atlanta Town Board, Tina Henderson, Grant Administrator and Triad Associates appeared before the Hamilton County Drainage Board and requested advancement of engineering fees for final design and construction plans for this project prior to Drainage Board approval of the reconstruction project. The Hamilton County Drainage Board approved an engineering fee of \$83,250.00 for Triad to complete the engineering plans, specifications and bid documents for this project. This money will be expended from the General Drain Improvement Fund (GDIF). If the reconstruction project is not approved, the Miller-Carson & Whisler-Brenner Maintenance Fund will pay for the cost of engineering (see Hamilton County Drainage Board Minutes Book 14, pages 63-68). The contract was signed at a subsequent Board meeting on January 9, 2012 (see Hamilton County Drainage Board Minutes Book 14, page 72).

Replacement of the existing 27" RCP with 60" RCP will be performed within the 150 foot regulated drain easement.

Construction plans and specifications have been filed with the Hoosier Heritage Port Authority for work performed within their right of way. All work will be performed to their required standards.

Reconstruction Assessment:

The total benefitted drainage shed is 351.05 acres with 217 lots. The assessment cost to the benefitted landowners is \$529,567.50.

For the purpose of the reconstruction assessment there were thirty three (33) parcels combined which were small tracts adjacent to parent tracts. Per the afore mentioned memorandum of understanding between the Town of Atlanta and the Hamilton County Drainage Board, this assessment for reconstruction shall be payable over a seven (7) year period, in fourteen (14) installments due in May and November of each year, with an interest rate of 2% per annum. (See Hamilton County Drainage Board Minutes Book 13, Pages 273-274)

I have reviewed the benefitted drainage shed for the Miller-Carson Drain Reconstruction Project and considered various factor for benefits and damages as set out in IC 36-9-27-112. Upon considering each parcel individually, I believe that each parcel will have equal benefits as provided by the drain by the land use, therefore, I recommend each tract be assessed on the same land use basis equally.

All of the construction work will be performed within an existing regulated drain easement or public right of way. No additional easements are required for this project. I believe no damages will result to landowners by the reconstruction of this drain. Damages are set at zero (0).

I recommend the assessments for this project be set as follows:

1. Residential/Agriculture and unregulated subdivision is \$25.00 per acre with a \$1,568.20 minimum.
2. Commercial and road is \$95.00 per acre with a \$5,959.16 minimum.
3. Cost of bore under S. R. 19 will have a special assessment of \$65,000.00 to the Indiana Department of Transportation.

I recommend the Board set a hearing for this proposed reconstruction for May 14, 2012.

Sincerely,



Christie Kallio, P.E.
Hamilton County Surveyor's Office

CK/llm

STATE OF INDIANA)
) ss:
COUNTY OF HAMILTON)

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
**Miller-Carson Drain Reconstruction (Atlanta-OCRA Storm Water
Improvement Grant)**

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the **Miller-Carson Drain Reconstruction (Atlanta-OCRA Storm Water Improvement Grant)** came before the Hamilton County Drainage Board for hearing on **May 14, 2012**, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.

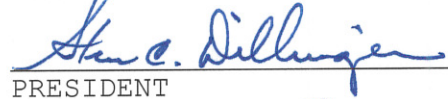
The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.

The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.


Wherefore, it is ORDERED, that the proposed Reconstruction of the **Miller-Carson Drain Reconstruction (Atlanta-OCRA Storm Water Improvement Grant)** be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD

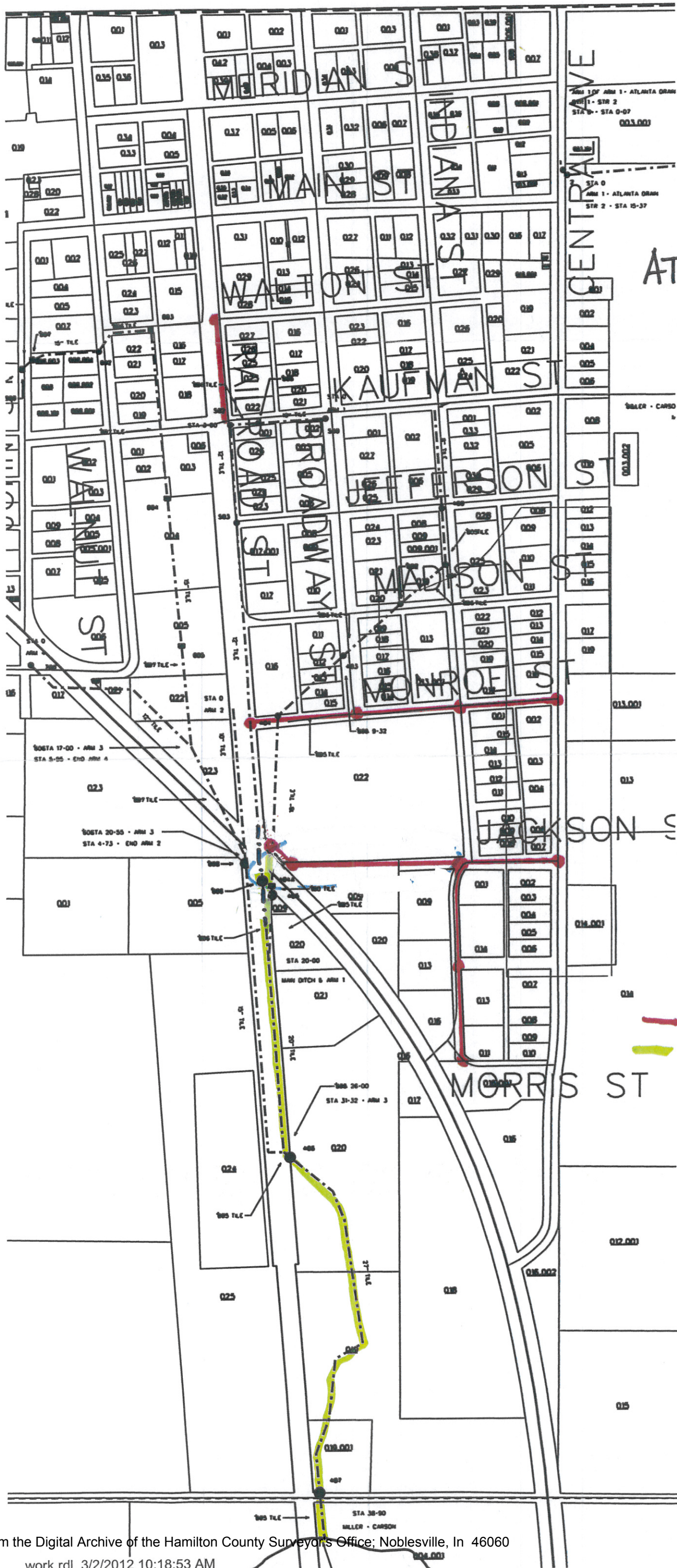

PRESIDENT


Member


Member

ATTEST:


Executive Secretary



ATLANTA
N.T.S.

NEW
UPSIZED

STORM WATER IMPROVEMENTS PROJECT (MILLER-CARSON DRAIN RECONSTRUCTION PROJECT)

ENGINEER: Triad Associates
5835 Lawton Loop E. Dr.
Indpls, IN 46216

Bid Date: May 3, 2012
Bid Time: 3:30 p.m.

TOWN OF ATLANTA, INDIANA					
WITH THE HAMILTON COUNTY DRAINAGE BOARD					
					201205A
Contractor	Bid Bond	Form #96	Proposal Form	Addendum #1	Total Bid
Atlas Excavating, Inc.	✓	✓	✓	✓	957,014.00
Brackney, Inc.	✓	✓	✓	✓	915,567.00
Davidson Excavating, Inc.	✓	✓	✓	✓	1,049,356.00
F & K Construction, Inc.	✓	✓	✓	✓	924,700.00
Gradex, Inc.					
Harvey Construction Co., Inc.	✓	✓	✓	✓	1,037,769.00
Independent Concrete Pipe					
Keith Sullivan Excavating, Inc.	✓	✓	✓	✓	1,371,741.00
Merryman Excavation, Inc.					
Poindexter Excavating, Inc.	✓	✓	✓	✓	949,411.50
R.L. Coon Excavating, Inc.					
Rieth-Riley Construction					
Smock Fansler Corporation					
Spectra Tech, LLC	✓	✓	✓	✓	870,719.00
Watson Excavating, Inc.	✓	✓	✓	✓	769,890.60
Yardberry Landscape Excavating Company	✓	✓	✓	✓	1,026,553.00

To: Hamilton County Drainage Board

From: Larry + Laura Tishner
8301 E 286th
Atlanta IN 46031
Parcel 03-02-12-00-00-004.001

The Atlanta-OCRA storm water improvement Grant
Miller Carson Drain

This drains onto my property and I have
flooding problems now. If you allow this
project it will probably flood my house
+ keep my low lands with standing water
all the time. I live between state rd 19
and the railroad.

Please look closely at this project

Thank you

Larry Tishner



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Atlanta Town Board frustrated

By LOU ANN MILLETT
Tribune Correspondent

ATLANTA — Assessments from Hamilton County and decisions by the Hamilton County Drainage Board, which consists of the Hamilton County Commissioners, have frustrated members of the Atlanta Town Board. The county has the Atlanta Park divided into six parcels and has assessed the town at \$6,000 per parcel. Town Attorney Aaron Culp said, "We have the documents and can record them. The deed is at the courthouse. I'll see if they (officials) can combine these parcels into one assessment. Culp also had additional bad news for the town board. He related the Drainage Board had rejected the town's request to have joint ownership of the ditches.

bank loan at three percent interest for the town if the town didn't want to borrow the money from the Drainage Board.

Town Marshal Joe Robbins received permission from Town Council members Abe Evans and Steve Dial to get portable defibrillators, one for each patrol car. These have been listed on the Internet as surplus equipment. Evans and Dial approved paying shipping by UPS not to exceed \$100.

Other actions taken by the Town Council members included:

- Passing Resolution 4-01-12; the fire truck fund was declared dormant and the funds will be classified as philanthropic funds.
- Accepting the final agreement with PayGov that will execute e-verify.
- Opted-out from an agreement with the Noblesville Housing Authority with regards to a community development block grant (CDBG).
- Passed Ordinance 04-2012-01 that recompiled the town's ordinances. This ordinance enacted and adopted a Code of Ordinances.

Town members are reminded the town needs at least 240 residents to respond to the income survey by May 24.

Utility Superintendent Andy Emmert announced the fire hydrants would be flushed on May 7.

Town Board President Dial signed a letter to IDEM. It was an agreement of rate for regulatory compliance contingent upon e-verify.

According to Culp, the annexation of Northwind Estates is "making progress."

The next meeting of the town is at 7 p.m. May 8 at the Town Hall.



was not available today, emergency responders had collided just from this accident injuries. Two other fatalities the same day, causing school closures known if fog con-

JACKIE HENRY PHOTO



Tina Henderson of Mendenhall and associates advised the council members as to how to proceed. She stressed that town officials need to "make the best decision for the town" when it comes to the waste water project. However, the storm water project is the first priority.

Steve Brock of Therber and Brock told the council that he would try to get a ten year

House moves ahead

Tipton County TRIBUNE
APRIL 26, 2012

Miller-Carson Drain

Atlanta-OCRA Storm Water Improvement Grant

May 14, 2012 Hearing

No change in current maintenance assessment except the acreage of the railroad was recalculated and will increase from 5.00 to 17.25 acres. It's assessment will increase from \$50.00 to \$172.50 per year for maintenance.

This project will add 4,991' of new drain to the total length of this drain.

INDOT will be assessed an additional reconstruction assessment of \$65,000.

The Miller-Carson shed will be assessed \$529,567.50 to make the total assessed \$594,567.50.

Cost Estimate	\$897,450.00
15% Contingency	\$134,617.50
Grant Admin/Labor Stand.	\$45,000.00
Engineering/Specifications	\$83,250.00
Inspection & Stalking	\$34,250.00
Total Cost:	\$1,194,567.50
Minus Atlanta Grant:	-\$600,000.00
Amount from County Assessments:	\$594,567.50

Assessment Rates	
Residential/Ag	\$25/Ac, \$1568.20/Min
Commercial/Roads	\$95/Ac, \$5959.16/Min
Special	\$65,000 for SR19 Bore

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
06-02-01-03-04-009.000	Achenbach, Matthew D & Christin D	S1 T20 R4 Atlanta Imp Co 2nd Lot 1,4,2,3,Pt 5,Pt 6,Pt 7 Blk 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-01-024.000	Alvarez, Max S & Sandra K	S1 T20 R4 0.93Ac	Un-Regulated Subd	0.30	\$1,568.20	0.264%	*
06-02-01-01-01-017.000	Alvarez, Pedro	S1 T20 R4 2.79Ac	Un-Regulated Subd	1.00	\$1,568.20	0.264%	*
06-02-01-01-15-002.000	Ashley Construction LLC	S1 T20 R4 Northwind Estates 3rd Lot 67	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-003.000	Ault, Sheri L	S1 T20 R4 Northwind Estates 2nd Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-021.000	Baker, Carol A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 13th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-001.000	Ballinger, Rick A & Diana S J/t R/s	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-005.000	Barnes, Michael E, M Zwiefelhofer, K Reed, G Kelly & Dan	S1 T20 R4 Lafeber'S Addition Lot 16	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-010.000	Bauer, John C	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 12th Lot 9,P8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-00-00-004.000	Becks Superior Hybrids Inc	S2 T20 R4 107.60Ac	Residential/Ag	58.70	\$1,568.20	0.264%	*
03-02-02-00-00-010.001	Becks Superior Hybrids Inc	S2 T20 R4 105.00Ac	Residential/Ag	13.37	\$1,568.20	0.264%	*
06-02-01-00-00-002.000	Becks Superior Hybrids Inc	S1 T20 R4 9.77Ac	Residential/Ag	9.77	\$1,568.20	0.264%	*
06-02-01-01-13-006.000	Bentley, Jason E & Chasity L	S1 T20 R4 Northwind Estates 1st Lot 39	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-11-008.003	Berling, Pamela L	S1 T20 R4 0.18Ac	Un-Regulated Subd	0.18	\$1,568.20	0.264%	*
06-02-01-01-07-009.000	Berndt, Frederick J & Louann	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 11th Lot 11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-005.000	Biddle, Carl Scott	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot P8,9,P10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-017.000	Black, Kenneth W Trust & Kenneth W Black Trustee and D	S1 T20 R4 Northwind Estates 2nd Lot 65	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-026.000	Bledsoe, Fennis	S1 T20 R4 Atlanta Original Lot Pt 2 Blk 8	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-01-08-026.000	Bledsoe, Fennis	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot P4,2,3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-001.000	Bledsoe, Fennis & Thomas , Thomas Jt/rs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-002.000	Bledsoe, Fennis & Thomas , Thomas Jt/rs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot 12,P11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-006.000	Bledsoe, Fennis N	S1 T20 R4 1.10Ac	Commercial	1.10	\$5,959.16	1.002%	*
06-02-01-01-12-008.000	Bonebrake, Joseph	S1 T20 R4 Bushers Lot 9,Pt 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-030.000	Booker, Joe D & Florence	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 7th Lot 5,P4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-04-019.000	Bozell, Denny L & Wanda Elaine	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 5th Lot 8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-11-005.000	Bratton, Terry J & Sarah A Cookman Jt/rs	S1 T20 R4 0.39Ac	Un-Regulated Subd	0.39	\$1,568.20	0.264%	*
06-02-01-01-14-005.000	Brumley, Robert A & Angela K	S1 T20 R4 Northwind Estates 2nd Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-013.000	Bullock Properties LLC	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-015.000	Bullock Properties LLC	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-13-003.000	Burdick, Gerald R & Tanya R	S1 T20 R4 Northwind Estates 1st Lot 42	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-015.000	Burke, Mark A & Marcia E	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 14th Lot 5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-13-005.000	Byram, Richard & Brenda	S1 T20 R4 Northwind Estates 1st Lot 40	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-017.000	Cain, Jack A	S1 T20 R4 Stokes 2nd Lot 3,4,p2	Un-Regulated Subd	7.30	\$1,568.20	0.264%	*
06-02-01-01-05-020.000	Cain, Ronald R	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 6th Lot 9	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-13-004.000	Carey Services Inc	S1 T20 R4 Northwind Estates 1st Lot 41	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
06-02-01-03-02-009.000	Carey, Justin K	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 17th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-010.000	Carter, James & Melissa	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 17th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-014.000	Carter, Steven R & Gina M Moore	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-11-001.000	Cherry, Kristina J	S1 T20 R4 0.20Ac	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-016.000	Cherry, Stanley J & Mary K Revocable Living Trust	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 13th Lot 8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-008.000	Childs, William & Michelle	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 17th Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-017.001	Clements, Jimmie D & Sharon R	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 10th Lot 1,2,3,4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-009.001	Coleman, Brian C & Molly M	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 11th Lot 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-013.000	Connors, Carolyn S	S1 T20 R4 Northwind Estates 2nd Lot 61	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-003.000	Conservative Wesleyan Church in Christ of Atlanta	S1 T20 R4 0.14Ac	Un-Regulated Subd	0.14	\$1,568.20	0.264%	*
06-02-01-03-02-004.000	Courter, James L & Margaret	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-03-023.000	Cowan, Earl David & Elsie Margaret	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 4,5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-002.000	Cowan, Homer D	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 7th Lot 12,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-013.001	Cowan, Matthew E	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 14th Lot 7,8,9,P10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-014.000	Cox, Douglas C & Susan M	S1 T20 R4 Northwind Estates 2nd Lot 62	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-04-018.000	Crail, Mary G aka Mary A Trustee of Mary G aka Mary A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 5th Lot 9	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-008.000	Dailey, Robert J & Sheila F	S1 T20 R4 Northwind Estates 2nd Lot 46	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-03-013.000	Dautrich, Larry R & Nellie E	S1 T20 R4 Atlanta Imp Co 2nd Lot 10,8,9 Blk 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-012.000	Davis, Christopher T	S1 T20 R4 Atlanta Original Lot Pt 1,Pt 4 Blk 8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-021.000	Davis, Nicole R & Troy A Furst	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 11th Lot 4,5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-03-003.000	Delph, Charles William	S1 T20 R4 Atlanta Imp Co 2nd Lot 2 Blk 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-013.000	Denham, Charles E & Rebecca J	S1 T20 R4 Bushers Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-006.000	Dent, Harold & Nancy	S1 T20 R4 Stokes 4th Lot 4,3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-01-00-00-027.000	Derrer, Rusty L & Lindsay E	S1 T20 R4 6.00Ac	Residential/Ag	6.00	\$1,568.20	0.264%	*
06-02-01-01-06-028.000	Dever, Geneva Tr Rev Tr W/le Geneva Dever	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 12th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-03-022.000	Dial, Claude L & Linda Diane	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-002.000	Dial, Paul E & Marjorie I	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 8th Lot 12,9,10,,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-027.000	Dial, Richard E & Connie L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 8th Lot 3,4,P2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-025.000	Dial, Steven A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 8th Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-00-00-021.000	Dick, Charles David & Sharon Sue	S1 T20 R4 1.64Ac	Un-Regulated Subd	1.64	\$1,568.20	0.264%	*
06-02-01-01-03-027.000	Dixon, Murry A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-04-023.000	Dixon, Murry A & Kimberly K	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 5th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-00-00-022.000	Drury, Pamela	S1 T20 R4 6.60Ac	Commercial	6.60	\$5,959.16	1.002%	*
06-02-01-01-08-010.000	Drury, Robert N & Teresa M	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 10th Lot 7,8,9,P10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-05-026.000	Dubois, Joseph L & Nancy J jtrs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 6th Lot 3,1,2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-005.001	Elliott, Lois	S1 T20 R4 0.21Ac	Un-Regulated Subd	0.21	\$1,568.20	0.264%	*
03-02-01-00-00-026.001	Endicott, Donald Gene	S1 T20 R4 28.03Ac	Residential/Ag	0.73	\$1,568.20	0.264%	*
06-02-01-03-03-009.000	Erney, Brian K & Shirley	S1 T20 R4 Atlanta Imp Co 2nd Lot 4 Blk 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-011.000	Etchison, Robert G & Jan	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st Lot P8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-012.000	Etchison, Robert G & Jan	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 13th Lot 12	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-011.000	Ewing, Marshall L	S1 T20 R4 Northwind Estates 2nd Lot 49	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-014.000	Farley, Bill E & Dewillis H	S1 T20 R4 Lafeber'S Addition Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-007.000	Farley, Bill E & Dewillis H	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 17th Lot 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-09-004.000	Farley, Fred A & Jennifer L	S1 T20 R4 2.10Ac	Un-Regulated Subd	2.40	\$1,568.20	0.264%	*

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
03-02-01-00-00-016.001	Farley, Wayne A & Tammy L	S1 T20 R4 0.97Ac	Residential/Ag	0.97	\$1,568.20	0.264%	*
03-02-01-00-00-016.002	Farley, Wayne A & Tammy L	S1 T20 R4 0.85Ac	Residential/Ag	0.85	\$1,568.20	0.264%	*
06-02-01-01-14-012.000	Federal National Mortgage Association	S1 T20 R4 Northwind Estates 2nd Lot 60	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-00-00-005.000	Fehrenbach, Kurt Michael	S2 T20 R4 0.80Ac	Commercial	0.80	\$5,959.16	1.002%	*
03-02-02-00-00-006.000	Finneran, Steve	S2 T20 R4 0.55Ac	Commercial	0.55	\$5,959.16	1.002%	*
03-02-01-00-00-013.000	France, Lee Jr & Shelly	S1 T20 R4 2.97Ac	Residential/Ag	2.65	\$1,568.20	0.264%	*
06-02-01-01-05-024.000	France, Lee Jr & Shelly M	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 6th Lot 5,6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-05-022.000	Gabrielson, Clinton & Donna	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 6th Lot 8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-13-002.000	Gerlach, Gary R & Jane	S1 T20 R4 Northwind Estates 1st Lot 43	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-00-00-010.000	Gibson, Kyle R	S2 T20 R4 0.99Ac	Residential/Ag	1.35	\$1,568.20	0.264%	*
06-02-01-01-07-017.000	Gillespie, Michael W & Kimela S Mize	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 14th Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-011.000	Grafiing, Chad & Natasha	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 15th Lot 12,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-03-016.000	Green, Michael R & Debra S	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 12,P11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-009.000	Greene, Brian & Carissa	S1 T20 R4 Northwind Estates 2nd Lot 47	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-006.000	Gullion, Todd A & Kelly J	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 7th Lot 8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
99-99-99-99-99-999.001	Hamilton County Highway Department	Northwind Estates Sec. 3, Central Ave, Whetston Rd	Road	9.21	\$5,959.16	1.002%	*
03-02-01-00-00-014.000	Hanna, Mark	S1 T20 R4 9.00Ac	Residential/Ag	4.50	\$1,568.20	0.264%	*
03-02-01-00-00-014.001	Hanna, Mark	S1 T20 R4 1.00Ac	Residential/Ag	1.00	\$1,568.20	0.264%	*
06-02-01-02-01-010.000	Harber, Thomas R & R Kathy Howard Jt/Rs	S1 T20 R4 Lafeber'S Addition Lot 10,11,12	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-03-03-011.000	Hardebeck, David E & Melanie	S1 T20 R4 Atlanta Imp Co 2nd Lot 6,7 Blk 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-012.000	Harpham, Jeffrey R & Heather L	S1 T20 R4 Lafeber'S Addition Lot 9	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-013.000	Harpham, Jeffrey R & Heather L	S1 T20 R4 Lafeber'S Addition Lot 8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-023.000	Haston, David P	S1 T20 R4 Walton & Kauffman 1st Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-001.000	Head, Luther S & Susan K	S1 T20 R4 1.00Ac	Un-Regulated Subd	1.00	\$1,568.20	0.264%	*
06-02-01-01-03-026.000	Hiatt, Rachel	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-11-008.001	Hicks, Crystal Trustee fbo Derek Hicks	S1 T20 R4 0.23Ac	Un-Regulated Subd	0.23	\$1,568.20	0.264%	*
06-02-01-01-06-009.000	Hill, Gary G & Pamela L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 12th Lot 10,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
99-99-99-99-99-999.015	Hoosier Heritage Port Authority	S1 T20 R4 Acres recalcd. Inc frm 5 \$50 to 17.25 \$172.50.	Road	17.25	\$5,959.16	1.002%	172.50
03-02-02-00-00-021.000	Hopkins, Paul	S2 T20 R4 8.52Ac	Residential/Ag	8.52	\$1,568.20	0.264%	*
03-02-02-01-01-003.000	Hopkins, Paul	S2 T20 R4 Northwind Estates 3rd Lot 72	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-01-01-004.000	Hopkins, Paul	S2 T20 R4 Northwind Estates 3rd Lot 73	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-00-00-028.000	Hopkins, Paul	S1 T20 R4 7.96Ac	Residential/Ag	7.96	\$1,568.20	0.264%	*
06-02-01-01-15-001.000	Hopkins, Paul	S1 T20 R4 Northwind Estates 3rd Lot 66	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-004.000	Hopkins, Paul	S1 T20 R4 Northwind Estates 3rd Lot 69	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-005.000	Hopkins, Paul	S1 T20 R4 Northwind Estates 3rd Lot 74	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-006.000	Hopkins, Paul	S1 T20 R4 Northwind Estates 3rd Lot 75	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-009.000	Hopkins, Paul	S1 T20 R4 Northwind Estates 3rd Lot 78	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-05-001.000	Hopkins, Paul D	S1 T20 R4 Tin Plate 1st Lot 1,2,3,4,5,6,7,8	Un-Regulated Subd	2.27	\$1,568.20	0.264%	*
06-02-01-03-05-005.000	Hopkins, Paul D	S1 T20 R4 Tin Plate 2nd Lot 1,2,3,4,5,6,7,8,9,10	Un-Regulated Subd	2.25	\$1,568.20	0.264%	*
06-02-01-01-06-025.000	HSBC Bank USA NA Trustee of Ace Securities	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 12th Lot 4,2,3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-027.000	Hugh Barwick Rental LLC	S1 T20 R4 Atlanta Original Lot Pt 2 Blk 8	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-01-07-024.000	Imel, David Joe	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 11th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
99-99-99-99-99-999.002	Indiana Department Of Transportation	S1 & 2 T20 R4 S R 10	Road	31.74	\$5,959.16	1.002%	*
99-99-99-99-99-999.002	Indiana Department Of Transportation	New structure under SR19 assessed per IC 36-9-27-71.	Special	n/a	\$65,000.00	10.932%	*

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
06-02-01-03-03-005.000	Irion, John Michael	S1 T20 R4 Atlanta Imp Co 2nd Lot 4 Blk 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-001.000	Isehower, Nancy L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st Lot P2,1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-006.000	Isehower, Nancy L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 8th Lot 8,7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-015.000	Jackson, Wallace D & Laurie Ann	S1 T20 R4 Bushers Lot 1,2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-021.000	Jaderay LLC	S1 T20 R4 Walton & Kauffman 2nd Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-011.000	Jensen, Shelena & Jacob Jones Jt/rs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-007.000	Johnson, James H & Judith A	S1 T20 R4 Northwind Estates 3rd Lot 76	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-011.000	Jones, Bradford G & Frances R	S1 T20 R4 Stokes 3rd Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-03-014.000	Jones, Clinton G & Frances	S1 T20 R4 Atlanta Imp Co 2nd Lot 6,8,7 Blk 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-006.000	Jones, Larry B & Terri L	S1 T20 R4 Northwind Estates 2nd Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-007.000	King, Clarence E & Mary A	S1 T20 R4 Bushers Lot Pt 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-016.000	Klema, Joshua T & Misty D Warren Jt/Rs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st S14 Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-002.000	Lamkin, Donald L & Patricia E	S1 T20 R4 Northwind Estates 2nd Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-03-025.000	Landers, Jason A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-019.000	Langolf, Phillip & Janet	S1 T20 R4 Lafeber'S Addition Lot 2,1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-017.000	Leach, Jack D with LE,	S1 T20 R4 0.95Ac	Un-Regulated Subd	0.95	\$1,568.20	0.264%	*
06-02-01-01-11-007.000	Lee, Bobby G	S1 T20 R4 0.51Ac	Un-Regulated Subd	0.51	\$1,568.20	0.264%	*
06-02-01-01-01-025.000	Lee, Dennis R	S1 T20 R4 0.43Ac	Un-Regulated Subd	0.43	\$1,568.20	0.264%	*
06-02-01-01-08-015.000	Lee, Michael K	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 15th Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-016.000	Lee, Michael K	S1 T20 R4 Northwind Estates 2nd Lot 64	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-01-00-00-019.000	Lee, Michelle Trustee	S1 T20 R4 6.95Ac	Residential/Ag	2.99	\$1,568.20	0.264%	*
03-02-01-00-00-025.000	Lee, Michelle Trustee	S1 T20 R4 9.70Ac	Residential/Ag	4.20	\$1,568.20	0.264%	*
03-02-01-00-00-018.000	Lee, Michelle Trustee	S1 T20 R4 7.05Ac	Residential/Ag	4.99	\$1,568.20	0.264%	*
06-02-01-01-12-002.000	Lee, Richard & Kathy	S1 T20 R4 0.20Ac	Un-Regulated Subd	0.20	\$1,568.20	0.264%	*
06-02-01-01-11-002.000	Library Board	S1 T20 R4 Atlanta Original Lot 1,Pt 2 Blk 9	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-01-13-001.000	Lindahl, Sam & Deborah J	S1 T20 R4 Northwind Estates 1st Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-011.000	Liston, Retha P	S1 T20 R4 Bushers Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-019.000	Magenheimer, Philip D & Theresa M	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 14th Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-007.000	Mallory, Gary A	S1 T20 R4 Northwind Estates 2nd Lot 45	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-03-017.000	Malott, Bill Gene & Sandra Kay	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 10,P11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-008.000	Martin, Alisha A	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 11th Lot 12	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-05-021.000	Matlock, Claudette L	S1 T20 R4 0.32Ac	Un-Regulated Subd	0.32	\$1,568.20	0.264%	*
06-02-01-02-01-006.000	Mayfield, Heather	S1 T20 R4 Lafeber'S Addition Lot 15	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-05-019.000	McBane, Mary Eileen Spidel & Beverly Sue Gasho Jt/Rs	S1 T20 R4 0.51Ac	Un-Regulated Subd	0.26	\$1,568.20	0.264%	*
06-02-01-03-02-006.000	McClintick, Teri R	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 17th Lot 12,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-04-017.000	Minton, Tanya K	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 5th Lot 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-001.000	Mitchell, Robert L & Barbara S	S1 T20 R4 Northwind Estates 2nd Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-014.000	Morris, Frank M & Gustava E	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 13th Lot 10	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-00-00-007.000	Mountford, John D & Deborah L	S2 T20 R4 0.70Ac	Commercial	0.70	\$5,959.16	1.002%	*
06-02-01-01-12-010.000	Murphy, Betty A & Leroy J	S1 T20 R4 Bushers Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-025.000	Murphy, Daniel P	S1 T20 R4 Atlanta Original Lot 3 Blk 8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-09-006.000	Nickel Plate Railroad	S1 T20 R4 Walton & Kauffman Lot PT1	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-03-01-008.000	Null, Jeff W & Kimberly A	S1 T20 R4 Stokes 3rd Lot 2,1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-012.000	Olmstead, Jack A Trustee of Jack A Olmstead Declaratio	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
06-02-01-03-01-002.000	Palmiero, Anthony J & Mary J	S1 T20 R4 Stokes 5th Lot 2,1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-02-01-016.000	Patterson, Steven D	S1 T20 R4 Lafeber'S Addition Lot 5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-022.000	Payne, Silas Lee & Marcia L	S1 T20 R4 0.56Ac	Un-Regulated Subd	0.56	\$1,568.20	0.264%	*
06-02-01-01-10-002.000	Pennock, Jerry W & Pauletta	S1 T20 R4 Fleming & Maxwell Lot P1,P2,acreage	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-014.000	Perry, Alan J	S1 T20 R4 Stokes 3rd Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-033.000	Perry, Alan J & Brandi D	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 7th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-022.000	Pflug, Carol A	S1 T20 R4 Walton & Kauffman 2nd Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-004.000	Phifer, Chad A	S1 T20 R4 Bushers Lot 13,Alley,Pt 12	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-008.000	Phifer, Chester Lloyd	S1 T20 R4 Fleming & Maxwell Lot 4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-07-018.000	Phifer, Jeffrey R	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 14th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-004.000	Phifer, John E & Susan D	S1 T20 R4 0.17Ac	Un-Regulated Subd	0.17	\$1,568.20	0.264%	*
06-02-01-01-10-009.000	Phifer, John E & Susan D	S1 T20 R4 Fleming & Maxwell Lot 3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-001.000	Phifer, John E & Susan D TE	S1 T20 R4 Fleming & Maxwell Lot P1,P2,acreage	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-009.000	Phifer, Joshua W	S1 T20 R4 Bushers Lot 8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-029.000	Phifer, Kimberly S	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 7th Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-10-005.000	Phifer, Robert A Sr & Nina M	S1 T20 R4 0.44Ac	Un-Regulated Subd	0.44	\$1,568.20	0.264%	*
06-02-01-02-01-004.000	Porter, Melissa K	S1 T20 R4 Lafeber'S Addition Lot 17,P18	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-04-013.000	Powell, Debra Ann	S1 T20 R4 Atlanta Imp Co 2nd Lot 1,5 Blk 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-04-016.000	Powell, Phillip James	S1 T20 R4 Atlanta Imp Co 2nd Lot 3,5,2,4 Blk 2	Commercial	One Lot	\$5,959.16	1.002%	*
06-02-01-03-03-001.000	Price, Larry N & Jody L	S1 T20 R4 Atlanta Imp Co 2nd Lot 10,9 Blk 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-15-003.000	Price, Matthew A & Stacy E Lee Price	S1 T20 R4 Northwind Estates 3rd Lot 68	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-023.000	Privett, Shaun R	S1 T20 R4 0.95Ac	Un-Regulated Subd	0.95	\$1,568.20	0.264%	*
06-02-01-01-03-021.000	Pugh, Jackie	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 7	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-01-01-001.000	R L Mitchell Corporation	S2 T20 R4 Northwind Estates 3rd Lot 70	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-02-01-01-002.000	R L Mitchell Corporation	S2 T20 R4 Northwind Estates 3rd Lot 71	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-09-005.000	R L Mitchell Corporation	S1 T20 R4 1.50Ac	Un-Regulated Subd	1.50	\$1,568.20	0.264%	*
06-02-01-01-15-008.000	R L Mitchell Corporation	S1 T20 R4 Northwind Estates 3rd Lot 77	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-022.000	R L Mitchell Corporation	S1 T20 R4 Stokes 1st Lot 1,2,3,4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-00-00-020.000	Robinson, Clarence F & Mary K	S1 T20 R4 8.36Ac	Residential/Ag	8.36	\$1,568.20	0.264%	*
06-02-01-01-08-017.000	Roland, Lester M & Janet S	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 10th Lot 5,6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-12-005.000	Rouch, Gerald L	S1 T20 R4 Bushers Lot 11,Pt 12	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-02-002.000	Roudebush, James L & Mary C	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 16th Lot 12,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-03-010.000	Russell, Dwight J	S1 T20 R4 Atlanta Imp Co 2nd Lot 5 Blk 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-024.000	Sage, Jaclyn P	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot 5	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-01-00-00-017.000	Sanders, James M & Don Dashiell Sanders Jt/Rs	S1 T20 R4 0.43Ac	Residential/Ag	0.43	\$1,568.20	0.264%	*
06-02-01-01-08-003.000	Shidler, Mark W & Theresa L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 9th Lot P10,P11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
03-02-01-00-00-026.000	Shirley, Jerry Lee & Carlyon Sue TE	S1 T20 R4 27.14Ac	Residential/Ag	22.43	\$1,568.20	0.264%	*
06-02-01-01-04-016.000	Shock, Edna Mae W / Le Remainder Steven Douglas Eller	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st Lot 12,11	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-024.000	Smith, Bonnie J	S1 T20 R4 Walton & Kauffman 1st Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-11-008.002	Snyder, Michael Todd & Susan Annett Co Trustees	S1 T20 R4 0.21Ac	Un-Regulated Subd	0.21	\$1,568.20	0.264%	*
06-02-01-01-11-008.004	Snyder, Michael Todd & Susan Annette Joint Revocable T	S1 T20 R4 0.20Ac	Un-Regulated Subd	0.20	\$1,568.20	0.264%	*
06-02-01-01-03-029.000	Spurling, Dennis E & Christie & Jw Goodwin Jt/rs	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st Lot 2,1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-01-017.000	Spurner, Richard J Sr	S1 T20 R4 Lafeber'S Addition Lot 4,3	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-02-020.000	Stamps, Ronald L & Mary Kay	S1 T20 R4 Walton & Kauffman 2nd Lot 6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*

Parcel	Owner	Desc	Rate	Ben	Asmt	% of Total	Mnt.
06-02-01-01-03-018.000	Wilson, Gregory S & Charlotte M	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 4th Lot 9,P8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-14-015.000	Woelfert, Charles J Jr & Bethany E	S1 T20 R4 Northwind Estates 2nd Lot 63	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-04-022.000	Workman, Benjamin D & Rebecca L	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 5th Lot 2	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-023.000	Worl, Clarence E	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 12th Lot 5,6	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-06-032.000	Yeary, Rex E Jr	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st Lot 3,P4	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-03-01-016.000	Young, Peter R & Cristal L	S1 T20 R4 Stokes 3rd Lot 1	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
06-02-01-01-08-014.000	Zawadzki, Frank J Jr	S1 T20 R4 Walton'S 2nd & Atl Imp Co 1st 15th Lot 8	Un-Regulated Subd	One Lot	\$1,568.20	0.264%	*
Parcel Records: 262			Totals:	351.05	\$594,572.02	100.00%	
				217 Lots			

STORM WATER IMPROVEMENTS PROJECT
Town of Atlanta, Indiana
with the Hamilton County Drainage Board
105 East Main Street
Atlanta, Indiana 46031

BID DATE: May 3, 2012
BID TIME: 3:30 p.m.

ENGINEER: Triad Associates, Inc.
5835 Lawton Loop E. Drive
Indianapolis, IN 46216

ITEM				WATSON EXCAVATING, INC.		SPECTRA TECH, LLC		BRACKNEY, INC.		F & K CONSTRUCTION, INC.		POINDEXTER EXCAVATING, INC.	
Bid Bond				YES		YES		YES		YES		YES	
Form #96				YES		YES		YES		YES		YES	
Proposal Form				YES		YES		YES		YES		YES	
Addendum No. 1				YES		YES		YES		YES		YES	
DESCRIPTION	ENGINEER ESTIMATE	QUANTITY	UNIT	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE
1. Temporary Access Drive		1	LSUM	\$2,000.00	\$2,000.00	\$4,488.00	\$4,488.00	\$7,200.00	\$7,200.00	\$2,000.00	\$2,000.00	\$7,705.00	\$7,705.00
2. Clearing		1	LSUM	\$2,500.00	\$2,500.00	\$5,615.00	\$5,615.00	\$45,000.00	\$45,000.00	\$3,500.00	\$3,500.00	\$43,495.00	\$43,495.00
3. Erosion Control		1	LSUM	\$2,000.00	\$2,000.00	\$6,957.00	\$6,957.00	\$1,800.00	\$1,800.00	\$8,700.00	\$8,700.00	\$28,775.00	\$28,775.00
SUBTOTAL					\$6,500.00		\$17,060.00		\$54,000.00		\$14,200.00		\$79,975.00
SOUTH OF SR19													
4. Gabions 3' x 3' x 12'		10	EA	\$350.00	\$3,500.00	\$1,430.00	\$14,300.00	\$600.00	\$6,000.00	\$950.00	\$9,500.00	\$1,240.00	\$12,400.00
5. Filter Fabric		70	YDS	\$3.00	\$210.00	\$20.00	\$1,400.00	\$2.50	\$175.00	\$5.00	\$350.00	\$6.15	\$430.50
6. 60" Concrete End Section with Animal Guard		1	EA	\$5,000.00	\$5,000.00	\$4,524.00	\$4,524.00	\$5,450.00	\$5,450.00	\$5,086.00	\$5,086.00	\$5,490.00	\$5,490.00
7. 18" Rip Rap		8	SYS	\$45.00	\$360.00	\$22.00	\$176.00	\$57.00	\$456.00	\$80.00	\$640.00	\$315.00	\$2,520.00
8. 60" RCP, Bedding, Backfill, Restoration		2,248	LF	\$135.70	\$305,053.60	\$149.00	\$334,952.00	\$158.50	\$356,308.00	\$147.00	\$330,456.00	\$144.00	\$323,712.00
9. 8'-0 Diameter Manhole Complete		11	EA	\$6,500.00	\$71,500.00	\$6,093.00	\$67,023.00	\$5,600.00	\$61,600.00	\$8,000.00	\$88,000.00	\$6,820.00	\$75,020.00
10. 10'-0 Diameter Manhole Complete		1	EA	\$8,000.00	\$8,000.00	\$10,910.00	\$10,910.00	\$13,580.00	\$13,580.00	\$9,000.00	\$9,000.00	\$16,715.00	\$16,715.00
11. 60" RCP Jack and Bore		100	LF	\$1,500.00	\$150,000.00	\$1,694.00	\$169,400.00	\$1,255.00	\$125,500.00	\$1,600.00	\$160,000.00	\$1,340.00	\$134,000.00
12. 48" RCP, Bedding, Backfill, Restoration		65	LF	\$120.00	\$7,800.00	\$138.00	\$8,970.00	\$160.00	\$10,400.00	\$105.00	\$6,825.00	\$98.20	\$6,383.00
SUBTOTAL					\$551,423.60		\$611,655.00		\$579,469.00		\$609,857.00		\$576,670.50
JACKSON STREET													
13. 12" RCP, Bedding, Backfill, Restoration		1,058	LF	\$52.00	\$55,016.00	\$48.00	\$50,784.00	\$72.00	\$76,176.00	\$60.00	\$63,480.00	\$50.25	\$53,164.50
14. 4'-0 Diameter Manhole Complete		2	EA	\$1,000.00	\$2,000.00	\$2,647.00	\$5,294.00	\$1,600.00	\$3,200.00	\$2,560.00	\$5,120.00	\$3,038.00	\$6,076.00
15. Inlet Complete		4	EA	\$850.00	\$3,400.00	\$1,521.00	\$6,084.00	\$1,050.00	\$4,200.00	\$1,450.00	\$5,800.00	\$1,775.00	\$7,100.00
SUBTOTAL					\$60,416.00		\$62,162.00		\$83,576.00		\$74,400.00		\$66,340.50
SOUTH INDIANA STREET													
16. 12" RCP, Bedding, Backfill, Restoration		722	LF	\$57.00	\$41,154.00	\$65.00	\$46,930.00	\$80.00	\$57,760.00	\$78.00	\$56,316.00	\$77.00	\$55,594.00
17. 4'-0 Diameter Manhole Complete		2	EA	\$1,000.00	\$2,000.00	\$2,466.00	\$4,932.00	\$1,600.00	\$3,200.00	\$2,560.00	\$5,120.00	\$3,595.00	\$7,190.00
18. Inlet Complete		4	EA	\$850.00	\$3,400.00	\$1,521.00	\$6,084.00	\$1,050.00	\$4,200.00	\$1,450.00	\$5,800.00	\$1,775.00	\$7,100.00
SUBTOTAL					\$46,554.00		\$57,946.00		\$65,160.00		\$67,236.00		\$69,884.00
MONROE STREET													
19. 12" RCP, Bedding, Backfill, Restoration		1,143	LF	\$57.00	\$65,151.00	\$53.00	\$60,579.00	\$64.00	\$73,152.00	\$81.00	\$92,583.00	\$70.00	\$80,010.00
20. 4'-0 Diameter Manhole Complete		3	EA	\$1,000.00	\$3,000.00	\$2,208.00	\$6,624.00	\$1,600.00	\$4,800.00	\$2,560.00	\$7,680.00	\$3,595.00	\$10,785.00
21. Inlet Complete		12	EA	\$850.00	\$10,200.00	\$1,521.00	\$18,252.00	\$1,050.00	\$12,600.00	\$1,450.00	\$17,400.00	\$1,775.00	\$21,300.00
22. 4'-0 Catch Basin Complete		1	EA	\$1,200.00	\$1,200.00	\$2,025.00	\$2,025.00	\$1,600.00	\$1,600.00	\$3,200.00	\$3,200.00	\$2,255.00	\$2,255.00
SUBTOTAL					\$79,551.00		\$87,480.00		\$92,152.00		\$120,863.00		\$114,350.00
EAST RAILROAD STREET													
23. 12" RCP, Bedding, Backfill, Restoration		378	LF	\$57.00	\$21,546.00	\$72.00	\$27,216.00	\$95.00	\$35,910.00	\$78.00	\$29,484.00	\$86.75	\$32,791.50
24. 4'-0 Diameter Manhole Complete		1	EA	\$1,000.00	\$1,000.00	\$1,961.00	\$1,961.00	\$1,600.00	\$1,600.00	\$2,560.00	\$2,560.00	\$3,595.00	\$3,595.00
25. Inlet Complete		2	EA	\$850.00	\$1,700.00	\$1,607.00	\$3,214.00	\$1,050.00	\$2,100.00	\$1,450.00	\$2,900.00	\$1,775.00	\$3,550.00
26. 4'-0 Catch Basin Complete		1	EA	\$1,200.00	\$1,200.00	\$2,025.00	\$2,025.00	\$1,600.00	\$1,600.00	\$3,200.00	\$3,200.00	\$2,255.00	\$2,255.00
SUBTOTAL					\$25,446.00		\$34,416.00		\$41,210.00		\$38,144.00		\$42,191.50
TOTAL LUMP SUM BID					\$769,890.60		\$870,719.00		\$915,567.00		\$924,700.00		\$949,411.50



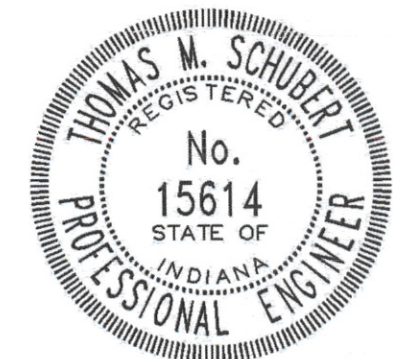
Thomas M. Schubert, P.E.
State of Indiana - No. 15614

STORM WATER IMPROVEMENTS PROJECT
Town of Atlanta, Indiana
with the Hamilton County Drainage Board
105 East Main Street
Atlanta, Indiana 46031

BID DATE: May 3, 2012
BID TIME: 3:30 p.m.

ENGINEER: Triad Associates, Inc.
5835 Lawton Loop E. Drive
Indianapolis, IN 46216

ITEM			ATLAS EXCAVATING, INC.		YARDBERRY LANDSCAPE EXCAVATING, CO.		HARVEY CONSTRUCITON COMPANY, INC.		DAVIDSON EXCAVATING, INC.		KEITH SULLIVAN EXCAVATING, INC.		
Bid Bond				YES		YES		YES		YES		YES	
Form #96				YES		YES		YES		YES		YES	
Proposal Form				YES		YES		YES		YES		YES	
Addendum No. 1				YES		YES		YES		YES		YES	
DESCRIPTION	ENGINEER ESTIMATE	QUANTITY	UNIT	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE	UNIT COST	EXTENDED PRICE
1. Temporary Access Drive		1	LSUM	\$1,000.00	\$1,000.00	\$6,500.00	\$6,500.00	\$7,500.00	\$7,500.00	\$1,444.00	\$1,444.00	\$6,600.00	\$6,600.00
2. Clearing		1	LSUM	\$9,000.00	\$9,000.00	\$25,000.00	\$25,000.00	\$8,900.00	\$8,900.00	\$7,845.00	\$7,845.00	\$108,000.00	\$108,000.00
3. Erosion Control		1	LSUM	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$11,100.00	\$11,100.00	\$21,885.00	\$21,885.00	\$15,500.00	\$15,500.00
SUBTOTAL					\$15,000.00		\$36,500.00		\$27,500.00		\$31,174.00		\$130,100.00
SOUTH OF SR19													
4. Gabions 3' x 3' x 12'		10	EA	\$700.00	\$7,000.00	\$800.00	\$8,000.00	\$750.00	\$7,500.00	\$1,066.00	\$10,660.00	\$800.00	\$8,000.00
5. Filter Fabric		70	YDS	\$2.00	\$140.00	\$6.00	\$420.00	\$40.00	\$2,800.00	\$12.60	\$882.00	\$5.00	\$350.00
6. 60" Concrete End Section with Animal Guard		1	EA	\$5,000.00	\$5,000.00	\$8,200.00	\$8,200.00	\$5,800.00	\$5,800.00	\$5,272.00	\$5,272.00	\$9,200.00	\$9,200.00
7. 18" Rip Rap		8	SYS	\$40.00	\$320.00	\$100.00	\$800.00	\$65.00	\$520.00	\$193.00	\$1,544.00	\$75.00	\$600.00
8. 60" RCP, Bedding, Backfill, Restoration		2,248	LF	\$228.00	\$512,544.00	\$180.00	\$404,640.00	\$195.00	\$438,360.00	\$193.50	\$434,988.00	\$230.00	\$517,040.00
9. 8'-0 Diameter Manhole Complete		11	EA	\$8,500.00	\$93,500.00	\$8,000.00	\$96,000.00	\$8,500.00	\$93,500.00	\$6,439.50	\$70,834.50	\$9,100.00	\$100,100.00
10. 10'-0 Diameter Manhole Complete		1	EA	\$9,500.00	\$9,500.00	\$0.00	\$0.00	\$10,300.00	\$10,300.00	\$11,559.00	\$11,559.00	\$12,000.00	\$12,000.00
11. 60" RCP Jack and Bore		100	LF	\$228.00	\$22,800.00	\$1,200.00	\$120,000.00	\$1,295.00	\$129,500.00	\$1,630.00	\$163,000.00	\$2,000.00	\$200,000.00
12. 48" RCP, Bedding, Backfill, Restoration		65	LF	\$125.00	\$8,125.00	\$0.00	\$0.00	\$125.00	\$8,125.00	\$128.00	\$8,320.00	\$160.00	\$10,400.00
SUBTOTAL					\$658,929.00		\$638,060.00		\$696,405.00		\$707,059.50		\$857,690.00
JACKSON STREET													
13. 12" RCP, Bedding, Backfill, Restoration		1,058	LF	\$54.00	\$57,132.00	\$70.00	\$74,060.00	\$60.00	\$63,480.00	\$49.25	\$52,106.50	\$99.00	\$104,742.00
14. 4'-0 Diameter Manhole Complete		2	EA	\$3,500.00	\$7,000.00	\$2,800.00	\$5,600.00	\$2,500.00	\$5,000.00	\$3,361.00	\$6,722.00	\$3,500.00	\$7,000.00
15. Inlet Complete		4	EA	\$1,250.00	\$5,000.00	\$2,100.00	\$8,400.00	\$1,500.00	\$6,000.00	\$2,904.00	\$11,616.00	\$1,550.00	\$6,200.00
SUBTOTAL					\$69,132.00		\$88,060.00		\$74,480.00		\$70,444.50		\$117,942.00
SOUTH INDIANA STREET													
16. 12" RCP, Bedding, Backfill, Restoration		722	LF	\$70.00	\$50,540.00	\$90.00	\$64,980.00	\$79.00	\$57,038.00	\$59.00	\$42,598.00	\$101.00	\$72,922.00
17. 4'-0 Diameter Manhole Complete		2	EA	\$3,100.00	\$6,200.00	\$2,800.00	\$5,600.00	\$2,200.00	\$4,400.00	\$3,389.00	\$6,778.00	\$2,400.00	\$4,800.00
18. Inlet Complete		4	EA	\$1,250.00	\$5,000.00	\$2,100.00	\$8,400.00	\$1,400.00	\$5,600.00	\$2,928.50	\$11,714.00	\$1,800.00	\$7,200.00
SUBTOTAL					\$61,740.00		\$78,980.00		\$67,038.00		\$61,090.00		\$84,922.00
MONROE STREET													
19. 12" RCP, Bedding, Backfill, Restoration		1,143	LF	\$67.00	\$76,581.00	\$93.00	\$106,299.00	\$96.00	\$109,728.00	\$70.00	\$80,010.00	\$93.00	\$106,299.00
20. 4'-0 Diameter Manhole Complete		3	EA	\$3,600.00	\$10,800.00	\$2,800.00	\$8,400.00	\$2,100.00	\$6,300.00	\$3,500.00	\$10,500.00	\$2,800.00	\$8,400.00
21. Inlet Complete		12	EA	\$1,250.00	\$15,000.00	\$1,800.00	\$21,600.00	\$1,400.00	\$16,800.00	\$3,675.00	\$44,100.00	\$1,600.00	\$19,200.00
22. 4'-0 Catch Basin Complete		1	EA	\$3,500.00	\$3,500.00	\$2,200.00	\$4,400.00	\$1,900.00	\$1,900.00	\$3,473.00	\$3,473.00	\$3,000.00	\$3,000.00
SUBTOTAL					\$105,881.00		\$140,699.00		\$134,728.00		\$138,083.00		\$136,899.00
EAST RAILROAD STREET													
23. 12" RCP, Bedding, Backfill, Restoration		378	LF	\$94.00	\$35,532.00	\$93.00	\$35,154.00	\$81.00	\$30,618.00	\$76.50	\$29,917.00	\$96.00	\$36,288.00
24. 4'-0 Diameter Manhole Complete		1	EA	\$3,600.00	\$3,600.00	\$2,800.00	\$2,800.00	\$2,200.00	\$2,200.00	\$3,368.00	\$3,368.00	\$2,300.00	\$2,300.00
25. Inlet Complete		2	EA	\$1,700.00	\$3,400.00	\$2,100.00	\$4,200.00	\$1,400.00	\$2,800.00	\$2,910.00	\$5,820.00	\$1,600.00	\$3,200.00
26. 4'-0 Catch Basin Complete		1	EA	\$3,800.00	\$3,800.00	\$2,100.00	\$2,100.00	\$2,000.00	\$2,000.00	\$3.00	\$3.00	\$2,400.00	\$2,400.00
SUBTOTAL					\$46,332.00		\$44,254.00		\$37,618.00		\$41,505.00		\$44,188.00
TOTAL LUMP SUM BID					\$957,014.00		\$1,026,553.00		\$1,037,769.00		\$1,049,356.00		\$1,371,741.00



Thomas M. Schubert, P.E.
State of Indiana - No. 15614

CORRECTIVE NOTICE-04/23/12
HAMILTON COUNTY DRAINAGE BOARD

April 13, 2012

Notice of Hearing on Reconstruction & Schedule of Assessments and Damages on the **Miller-Carson Drain. (Atlanta-OCRA Storm Water Improvement Grant)**

Hamilton County Highway Department
 1700 S Tenth St
 Noblesville, IN 46060

Under the Indiana Drainage Code, all land which drains directly, or indirectly, may be assessed for either maintenance cost or reconstruction cost within the drain. In making the calculation for each parcel, the Drainage Board must calculate the percentage of the cost attributable to each parcel of land benefitted. The Drainage Board has received a reconstruction report and schedule of assessments which affects your land. The purpose of the reconstruction project is to perform work which will substantially improve the drainage for the entire watershed served by the drain.

You are hereby notified that the reconstruction report of the County Surveyor and the schedule of assessments made by the Drainage Board have been filed and are available for public inspection in the office of the County Surveyor. The chart below contains your proposed assessment and your percentage of the total reconstruction assessment.

The reconstruction report of the Surveyor and schedule of damages and benefits as determined by the Drainage Board for the proposed improvement known as the **Miller-Carson Drain (Atlanta-OCRA Storm Water Improvement Grant)** have been filed and are available for inspection in the office of the County Surveyor. The schedule of assessments shows the following lands in your name are affected as follows. This assessment is not a charge for services associated with regulating the quality of storm water within your city or town.

Description of Land	Acres Benefitted	Damages	Reconst. Assmt.	% of Total	Maint. Assmt.		
99-99-99-99-999.001, Road							
Northwind Estates Sec. 3, Central Ave, Whetston Rd	9.21	Zero	\$5,959.16	1.002%	No change.		
An additional Special Assmt for a 60" storm drain under 286 th Street will be added per IC-36-9-27-71.	n/a	Zero	\$10,300.00	n/a	No change.		
The reconstruction assessment may be paid in full by November 10, 2013 or installments may be made with a 2% interest on the unpaid balance over a seven year period. Proposed installments are shown below and will run from 2013 through 2019. The due date will be May 10th & November 10th of each year.							
Year	2013	2014	2015	2016	2017	2018	2019
May 10	1,161.37	1,161.37	1,161.37	1,161.37	1,161.37	1,161.37	1,161.37
Nov 10	1,161.37	1,161.37	1,161.37	1,161.37	1,161.37	1,161.37	1,161.35

The hearing on the Surveyor's reconstruction report and on the schedules of damages and assessments are set for hearing at **12:05 P.M. on May 14, 2012**, in the Commissioner's Court. The law provides that objections must be written and filed not less than 5 days before the date of the hearing. Objections may be for causes as specified by law and which are available at the Surveyor's Office. Written evidence in support of objections may be filed. The failure to file objections constitutes a waiver of your right to thereafter object, either before the Board or in court on such causes, to any final action of the Board. On or before the day of the hearing before the Board, the Surveyor shall and any owner of affected lands may cause written evidence to be filed in support of or in rebuttal to any filed objections.

HAMILTON COUNTY DRAINAGE BOARD
 One Hamilton County Square, Ste. 188
 Noblesville, IN 46060-2230

For a copy of the Surveyor's Report to the Drainage Board and a copy of the map, if applicable, please go to www.hamiltoncounty.in.gov/drainageboardnotices.

NAME CORRECTION

YEAR: 2012 PAY 2013

INITIALS:

MLD

PARCEL NUMBER(S):	(TAX CODE)	(MAP NUMBER)	(PARCEL NUMBER)	LOT	Subdivision
		06	02-01-01-09	006.000	Pt 1

PROBLEM:

DATE PROBLEM SOLVED:

4/19/2012

Nickel Plate Railroad was a subsidiary of Norfolk & Western Railroad Company. In 1995, Norfolk & Western quit claimed its interest in the Nickel Plate Railroad line to City of Noblesville and Town of Fishers. Transfer & Mapping rejected the deed for transfer in 1995 because the owner of record was Nickel Plate. At that time we did not know that Nickel Plate was part of the Norfolk & Western company. In 1998 the City of Noblesville and the Town of Fishers conveyed their interest to this parcel to the Town of Atlanta by deed 1998-42356.

SOLUTION:

Corrected name of owner to Town of Atlanta, Indiana 46031 for 2012 pay 2013.

Town is exempt so should be exempt from real estate taxes for 11 pay 12 and forward.

Pt lot 1 Walton & Kauffman

SEC-TWP-RGE

01-20-04

TRANSFER DATE:	06/09/95		Found	4/19/2012
	07/31/98			
INSTRUMENT TYPE:	QD			
	QD			
INSTRUMENT NUMBER:	1995-38647	Taxes	ok	
	1998-42356			

Mailed hearing notice for this parcel to Town of Atlanta on 4/19/12

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Miller-Carson Drain (Atlanta-OCRA Storm Water Improvement Grant)

NOTICE

To Whom It May Concern and: Murphy, Daniel P
Haston, David P

Notice is hereby given of the hearing of the Hamilton County Drainage Board concerning the reconstruction of the **Miller-Carson Drain (Atlanta-OCRA Storm Water Improvement Grant)** on **May 14, 2012** at **12:05 P.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana. Construction and maintenance reports of the Surveyor and the Schedule of Assessments proposed by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA)
) SS BEFORE THE HAMILTON
)
COUNTY OF HAMILTON) DRAINAGE BOARD

**IN THE MATTER OF Miller-Carson Drain Reconstruction,
Atlanta-OCRA Storm Water Improvement Grant**

NOTICE

Notice is hereby given that the Hamilton County Drainage Board at its regular meeting **May 14, 2012** adopted the reconstruction report of the Surveyor and the Amended Schedule of damages and assessments including annual assessment for periodic maintenance, finding that the costs, damages and expense of the proposed improvement would be less than the benefits which will result to the owner of lands benefited thereby.

The Board issued an order declaring the proposed improvement established. Such findings and order were marked filed and are available for inspection in the Office of the Hamilton County Surveyor.

If judicial review of the findings and order of the Board is not requested pursuant to Article VIII of the 1965 Indiana Drainage Code as amended within twenty (20) days from the date of publication of this notice, the findings and order shall become conclusive.

HAMILTON COUNTY DRAINAGE BOARD

BY: Steven C. Dillinger
PRESIDENT

ATTEST: Lynette Mosbaugh
SECRETARY

HAMILTON COUNTY DRAINAGE BOARD

April 13, 2012

Notice of Hearing on Reconstruction & Schedule of Assessments and Damages on the **Miller-Carson Drain. (Atlanta-OCRA Storm Water Improvement Grant)**

Murphy, Daniel P
180 Main St W P O Box 147
Atlanta, IN 46031

Under the Indiana Drainage Code, all land which drains directly, or indirectly, may be assessed for either maintenance cost or reconstruction cost within the drain. In making the calculation for each parcel, the Drainage Board must calculate the percentage of the cost attributable to each parcel of land benefitted. The Drainage Board has received a reconstruction report and schedule of assessments which affects your land. The purpose of the reconstruction project is to perform work which will substantially improve the drainage for the entire watershed served by the drain.

You are hereby notified that the reconstruction report of the County Surveyor and the schedule of assessments made by the Drainage Board have been filed and are available for public inspection in the office of the County Surveyor. The chart below contains your proposed assessment and your percentage of the total reconstruction assessment.

The reconstruction report of the Surveyor and schedule of damages and benefits as determined by the Drainage Board for the proposed improvement known as the **Miller-Carson Drain (Atlanta-OCRA Storm Water Improvement Grant)** have been filed and are available for inspection in the office of the County Surveyor. The schedule of assessments shows the following lands in your name are affected as follows. This assessment is not a charge for services associated with regulating the quality of storm water within your city or town.

Description of Land	Acres Benefited	Damages	Reconst. Assmt.	% of Total	Maint. Assmt.		
06-02-01-01-02-025.000, Un-Regulated Subd							
S1 T20 R4 Atlanta Original Lot 3 Blk 8	One Lot	Zero	\$1,568.20	0.264%	No change.		
The reconstruction assessment may be paid in full by November 10, 2013 or installments may be made with a 2% interest on the unpaid balance over a seven year period. Proposed installments are shown below and will run from 2013 through 2019. The due date will be May 10th & November 10th of each year.							
Year	2013	2014	2015	2016	2017	2018	2019
May 10	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01
Nov 10	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.07

The hearing on the Surveyor's reconstruction report and on the schedules of damages and assessments are set for hearing at **12:05 P.M. on May 14, 2012**, in the Commissioner's Court. The law provides that objections must be written and filed not less than 5 days before the date of the hearing. Objections may be for causes as specified by law and which are available at the Surveyor's Office. Written evidence in support of objections may be filed. The failure to file objections constitutes a waiver of your right to thereafter object, either before the Board or in court on such causes, to any final action of the Board. On or before the day of the hearing before the Board, the Surveyor shall and any owner of affected lands may cause written evidence to be filed in support of or in rebuttal to any filed objections.

HAMILTON COUNTY DRAINAGE BOARD
One Hamilton County Square, Ste. 188
Noblesville, IN 46060-2230

For a copy of the Surveyor's Report to the Drainage Board and a copy of the map, if applicable, please go to www.hamiltoncounty.in.gov/drainageboardnotices.

HAMILTON COUNTY DRAINAGE BOARD RETURNED
 April 13, 2012

Notice of Hearing on Reconstruction & Schedule of Assessments and Damages on the Miller-Carson Drain. (Atlanta-OCRA Storm Water Improvement Grant)

Haston, David P
 11590 Towne Rd
 Carmel, IN 46032

Under the Indiana Drainage Code, all land which drains directly, or indirectly, may be assessed for either maintenance cost or reconstruction cost within the drain. In making the calculation for each parcel, the Drainage Board must calculate the percentage of the cost attributable to each parcel of land benefitted. The Drainage Board has received a reconstruction report and schedule of assessments which affects your land. The purpose of the reconstruction project is to perform work which will substantially improve the drainage for the entire watershed served by the drain.

You are hereby notified that the reconstruction report of the County Surveyor and the schedule of assessments made by the Drainage Board have been filed and are available for public inspection in the office of the County Surveyor. The chart below contains your proposed assessment and your percentage of the total reconstruction assessment.

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Description of Land	Acres Benefited	Damages	Reconst. Assmt.	% of Total	Maint. Assmt.		
06-02-01-01-02-023.000, Un-Regulated Subd							
S1 T20 R4 Walton & Kauffman 1st Lot 7	One Lot	Zero	\$1,568.20	0.264%	No change.		
The reconstruction assessment may be paid in full by November 10, 2013 or installments may be made with a 2% interest on the unpaid balance over a seven year period. Proposed installments are shown below and will run from 2013 through 2019. The due date will be May 10th & November 10th of each year.							
Year	2013	2014	2015	2016	2017	2018	2019
May 10	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01
Nov 10	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.01	\$112.07

The hearing on the Surveyor's reconstruction report and on the schedules of damages and assessments are set for hearing at **12:05 P.M. on May 14, 2012**, in the Commissioner's Court. The law provides that objections must be written and filed not less than 5 days before the date of the hearing. Objections may be for causes as specified by law and which are available at the Surveyor's Office. Written evidence in support of objections may be filed. The failure to file objections constitutes a waiver of your right to thereafter object, either before the Board or in court on such causes, to any final action of the Board. On or before the day of the hearing before the Board, the Surveyor shall and any owner of affected lands may cause written evidence to be filed in support of or in rebuttal to any filed objections.

HAMILTON COUNTY DRAINAGE BOARD
 One Hamilton County Square, Ste. 188
 Noblesville, IN 46060-2230

For a copy of the Surveyor's Report to the Drainage Board and a copy of the map, if applicable, please go to www.hamiltoncounty.in.gov/drainageboardnotices.



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

March 22, 2012

To: Landowner

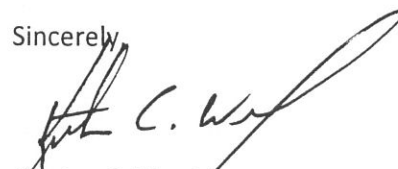
Re: Miller-Carson-Whisler-Brenner Drain

Upon reviewing the drainage shed of the Miller-Carson-Whisler-Brenner Drain, we have discovered that you have adjoining parcels that may be combined into one parcel. Enclosed are the "Policy For Combining Parcels For Tax Purposes" and the "Request To Combine Parcels For Tax Purposes" form.

If you meet the qualifications to combine your parcels, please fill out the form and send it to the Hamilton County Transfer & Mapping Department, 33 N. 9th St, Noblesville, IN 46060; or fax it to 317-776-9682.

There is a minimum assessment for each parcel on the The Miller-Carson-Whisler-Brenner Drain. Currently the assessment is for maintenance only. We will be having a reconstruction hearing and it is advisable that the parcels be combined at this time.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/jh

POLICY FOR COMBINING PARCELS FOR TAX PURPOSES

The Hamilton County Transfer and Mapping Office, which is responsible for keeping the real property tax records for Hamilton County, acknowledge that property owners may desire to combine their parcels for tax purposes. Any owner wishing to do so must complete the forms that are available from the transfer and mapping office. In order for any such request to be granted, all the following must be true:

- **All delinquent property taxes need to be paid before parcels can be combined.**
- The parcels to be combined must touch each other and cannot be separated by another parcel or a public right of way.
- Title to the parcels must have been obtained on the same deed and therefore be held in exactly the same name.
- The parcels cannot cross section boundaries.
- All parcels must be in the same taxing unit.
- To combine parcels described by metes and bounds, the property to be combined must be described with a perimeter description as one parcel and recorded by deed.

THE OWNER SHOULD UNDERSTAND THE FOLLOWING:

- Filing a request does not guarantee that the parcels will be combined.
- Because of the time between assessment date and the time tax bills are sent, you may receive tax bills for the separate parcels after you make the request.
- The combining of parcels does not necessarily affect the value that will be placed on your property for tax purposes.
- Combining parcels may affect the owner's ability to use the property per local zoning laws. The owner may want to check with their local zoning authority before making a request to combine parcels.

Dawn Coverdale,

Hamilton County Auditor

REQUEST TO COMBINE PARCELS FOR TAX PURPOSES

NAME(S) AS APPEARS ON DEED: _____

PARCEL NUMBERS: _____

THIS REQUEST IS MADE PURSUANT AND SUBJECT TO THE POLICY FOR COMBINING
PARCELS FOR TAX PURPOSES WHICH HAS BEEN RECEIVED BY ME.

SIGNATURE OF ONE OWNER: _____
ADDRESS: _____

PHONE NUMBER: _____

Please check the following:

(please see policy for combining parcels)

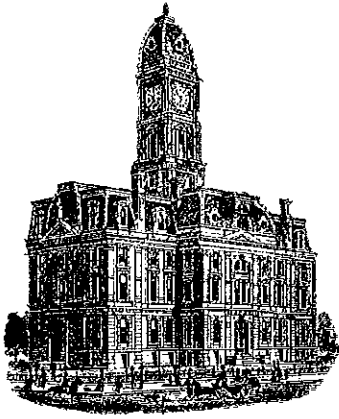
	yes	no
<u>Are there delinquent taxes due?</u>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Are both parcels described on the same deed?</u>	<input type="checkbox"/>	<input type="checkbox"/>

If yes, please give recorded document number: _____

Hamilton County Transfer & Mapping 776-9624

Parcel	Owner	Deed
06-02-01-01-06-021.000	Baker, Carol A	1999-9971658
06-02-01-01-06-022.000	Baker, Carol A	1999-9971658
06-02-01-01-11-008.000	Berling, Pamela L	?
06-02-01-01-11-008.003	Berling, Pamela L	?
06-02-01-00-00-023.000	Cain, Jack A	2008-40476
06-02-01-03-01-017.000	Cain, Jack A	2008-40476
06-02-01-03-01-020.000	Cain, Jack A	2008-40476
06-02-01-03-01-021.000	Cain, Jack A	2008-40476
06-02-01-03-03-002.000	Delph, Charles William	2005-10113
06-02-01-03-03-003.000	Delph, Charles William	2005-10113
06-02-01-03-03-004.000	Delph, Charles William	2005-10113
03-02-01-03-01-005.000	Dent, Harold & Nancy	Split by Annex
06-02-01-03-01-006.000	Dent, Harold & Nancy	Split by Annex
06-02-01-01-07-025.000	Dial, Steven A	1989-15839
06-02-01-01-07-026.000	Dial, Steven A	1989-15839
06-02-01-02-01-014.000	Farley, Bill E & Dewillis H	U/D A 6/20/58
06-02-01-02-01-015.000	Farley, Bill E & Dewillis H	U/D A 6/20/58
06-02-01-01-09-001.000	Farley, Fred A & Jennifer L	9547120&1
06-02-01-01-09-002.000	Farley, Fred A & Jennifer L	9547120&1
06-02-01-01-09-004.000	Farley, Fred A & Jennifer L	9547120&1
06-02-01-00-00-028.001	Gerlach, Gary R & Jane	2000-05227
06-02-01-01-13-002.000	Gerlach, Gary R & Jane	2000-05227
03-02-02-00-00-009.000	Gibson, Kyle R	2004-60355
03-02-02-00-00-010.000	Gibson, Kyle R	2004-60355
06-02-01-01-06-008.000	Hill, Gary G & Pamela L	2003-71408
06-02-01-01-06-009.000	Hill, Gary G & Pamela L	2003-71408
06-02-01-03-03-005.000	Irion, John Michael	2012007592
06-02-01-03-03-006.000	Irion, John Michael	2012007592
06-02-01-01-12-014.000	Jackson, Wallace D & Laurie Ann	2006-27931
06-02-01-01-12-015.000	Jackson, Wallace D & Laurie Ann	2006-27931
03-02-01-03-01-009.000	Jones, Bradford G & Frances R	Split by Annex
03-02-01-03-01-012.000	Jones, Bradford G & Frances R	Split by Annex
06-02-01-03-01-011.000	Jones, Bradford G & Frances R	Split by Annex
06-02-01-01-06-013.000	Morris, Frank M & Gustava E	DB232 Pg277
06-02-01-01-06-014.000	Morris, Frank M & Gustava E	DB232 Pg277
06-02-01-01-06-015.000	Morris, Frank M & Gustava E	DB232 Pg277
03-02-01-03-01-004.000	Palmiero, Anthony J & Mary J	Split by Annex
06-02-01-03-01-002.000	Palmiero, Anthony J & Mary J	Split by Annex

Parcel	Owner	Deed
03-02-01-03-01-013.000	Perry, Alan J	Split by Annex
06-02-01-03-01-014.000	Perry, Alan J	2012-06264
06-02-01-03-01-015.000	Perry, Alan J	2012-06264
06-02-01-01-06-001.000	Perry, Alan J & Brandi D	2000-59980
06-02-01-01-06-033.000	Perry, Alan J & Brandi D	2000-59980
06-02-01-01-12-009.000	Phifer, Joshua W	2009-08260
06-02-01-01-12-018.000	Phifer, Joshua W	2009-08260
06-02-01-01-03-020.000	Pugh, Jackie	2008-36640
06-02-01-01-03-021.000	Pugh, Jackie	2008-36640
06-02-01-01-08-023.000	Sage, Jaclyn P	2011-32664
06-02-01-01-08-024.000	Sage, Jaclyn P	2011-32664
06-02-01-01-08-025.000	Sage, Jaclyn P	2011-32664
06-02-01-01-02-019.000	Stamps, Ronald L & Mary Kay	9605875
06-02-01-01-02-020.000	Stamps, Ronald L & Mary Kay	9605875
06-02-01-01-06-017.000	Stokes, Wm & Peggy	5/30/1973
06-02-01-01-06-019.000	Stokes, Wm & Peggy	5/30/1973
06-02-01-03-03-007.000	Stoops, Douglas & Ellen M	?
06-02-01-03-03-008.000	Stoops, Douglas & Ellen M	?
06-02-01-01-08-012.000	Walden, Richard J & Mary E	2006-32409
06-02-01-01-08-013.000	Walden, Richard J & Mary E	2006-32409



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

July 25, 2013

Re: Miller Carson Reconstruction
Final Inspection Report

FINAL REPORT

This is the inspector's final report on the Miller Carson Reconstruction, located in Section 1 and 12, Township 20 North, Range 4 East, Jackson Township in Hamilton County, Indiana.

The Hamilton County Drainage Board approved a contract for Triad Engineering for engineering services of the Town of Atlanta and the OCRA Grant Stormwater Improvements on January 9, 2012. (D.B. 14, Page 72). The amount of the contract was \$83,250.00

The date of the Surveyor's Report for the Miller Carson Reconstruction was March 20, 2014 and approved by the Hamilton County Drainage Board on May 14, 2012. (D.B. 14, Pages 152-175). The engineer's estimate for the reconstruction was \$1,194,567.50

The Miller Carson Reconstruction was approved by the Hamilton County Drainage Board on May 14, 2012 (D.B. 14, Pages 152-175).

The reconstruction consisted of 3332 feet of 12 inch RCP, 2076.5 feet of 60" RCP, 100 feet of 60 inch steel pipe, 45 feet of 48 in RCP, 468 feet of 24" RCP, 25 inlets, 21 manholes and 3 catch basins. (As-built plans have been completed by Triad Engineering and are on file in the Surveyor's Office).

The engineer's estimate included \$897,450.00 for Capital Costs, \$134,617.50 for 15% contingencies, \$45,000.00 for Grant Administration Fees, \$83,250.00 for Engineering and \$34,250.00 Inspection & Staking.

The Hamilton County Drainage Board awarded the bid for reconstruction May 14, 2012 (D.B. 14, Page 161). The contract was with Watson Excavating for the amount of \$769,890.60 was approved on (D.B. 14 Pages 172 & 173)

The original contract consisted of 2248 feet of 60" RCP, 100 feet of 60" steel pipe bored under SR 19, 3301 feet of 12 RCP, 65 feet of 48" RCP, 22 inlet structures, 6 manholes and 2 catch basins.

As of July 29, 2013, I hereby attest to and agree that the reconstruction was installed according to the specified plans and change orders and have approved such work under IC 36-9-27-82(a). All inspections have been completed. Final inspection was on March 21, 2013 for the work.

The Certificate of Completion and Compliance by Triad Associates was submitted on June 7, 2013

Statement of All Incurred Expenses Paid signed by the contractor as required in IC 36-9-27-82(b) was received on May 25, 2012. The contractors claim for release of retainage was submitted on May 17, 2013.

Pay Requests for this project submitted and paid as allowed in IC 36-9-27-81 are as follows:

Pay Request #1 submitted 7-2-2012	Claim Paid 7-24-2012	\$100,665.00
Pay Request #2 submitted 8-6-2012	Claim Paid 8-15-2012	\$15,752.00
Pay Request #3 submitted 9-7-2012	Claim Paid 10-9-2012	\$330,111.50
Pay Request #4 submitted 10-5-2012	Claim Paid 11-14-2012	\$193,137.70
Pay Request #5 submitted 11-14-2012	Claim Paid 12-11-2012	\$146,943.20
Pay Request #6 submitted 12-19-2012	Claim Paid 1-29-2012	\$11,700.00
Pay Request #7 (Retainage) 12-19-2012	Claim Paid 1-29-2013	\$80,346.41
Pay Request #8 submitted 1-23-2013	Claim Paid 2-12-2013	\$48,000.00
Pay Request #9 (Retainage) 5-28-2013	Pending	\$7,200.00
Total – Watson Excavating		\$846,309.40

Watson Excavating Total	\$846,309.40
Triad Engineering Total	\$123,000.00
Mendenhall for Triad	\$3,000.00
Mendenhall	\$45,000.00
Project Total	\$1,017,309.40

There were a total of fourteen (14) change orders for additional work or field revisions on the project as allowed by IC 36-9-27-80.5.

The change order details are as follows:

Change Orders #1, #2, #3 & #4

Change Order #1

Approved by the board on July 23, 2013 (D.B. 1 Pages 210).
Monroe Street – Additional manhole structures and modifications to manhole structures due to conflicts with existing waterlines, gas lines and relocation of one new inlet structure.

Change Order #2

Approved by the board on July 23, 2013 (D.B. 1 Pages 210).
Railroad Street – Removal, backfill of unknown abandoned tank in location of inlet structure.

Change Order #3

Approved by the board on July 23, 2013 (D.B. 1 Pages 210).
Reduction in cost due to the realignment of the 60” RCP South of State Road 19.

Change Order #4

Approved by the board on July 23, 2013 (D.B. 1 Pages 210).
Reduction in cost was due to change of materials as allowed by INDOT for the 60” bore under State Road 19.

Change Order #1 -----	\$12,790.00
Change Order #2 -----	\$2,962.00
Change Order #3 -----	\$(2,594.40)
Change Order #4 -----	\$(21,500.00)
Change Orders #1 Through #4 Total -----	\$(8,352.40)

Change Orders #5, #6, #7

Change Order #5

Approved by the board on September 26, 2012 (D.B. 14 Page 289).
Change order was required to lower a 6” waterline from treatment plant under the 60” RCP.

Change Order #6

Approved by the board on September 26, 2012 (D.B. 14 Page 289).
Close off opening of Structure 1C and Core drill a 36” hole in structure 1F.

Change Order #7

Approved by the board on September 26, 2012 (D.B. 14 Page 289).
For additional tree clearing along Jackson Street right of way for storm drain installation.

Change Order #5 -----	\$4,430.00
Change Order #6 -----	\$1,700.00
Change Order #7 -----	\$4,000.00
Change Orders #5 Through #7 Total -----	\$10,130.00

Change Order #8

Approved by the board on November 13, 2012 (D.B. 14 Page 384). This was to extend the 60" pipe under SR 19 , additional 35 feet of 12" pipe & clearing on N. side of SR19.

Change Order #8 Total ----- \$8,531.20

Change Order #9

Change Order #9

Approved by the board on November 26, 2012 (D.B. 14 Page 427).
Install temporary bulkhead to temporarily reduce flow of 60 inch RCP prior to SR 19 crossing.

Change Order #9 Total ----- \$1,500.00

Change Order #10

Change Order #10

Approved by the board on December 10, 2012 (D.B. 14 Page 427).
For modifications to avoid conflict between existing 8 in sanitary sewer and 12 in storm drain in Jackson St. Added a new inlet at intersection of Jackson and Central Streets. Modification to 12 in storm drain in Indiana St. to avoid conflict with sanitary sewer. Relocate new storm inlets 1, 18, and 20 in South Indiana Street to construct at low spot

Change Order #10----- \$4,900.00

Change Order #11 and #12

Change Order #11

Approved by the board on November 26, 2012 (D.B. 14 Pages 448-449).
Installation of an inlet on the 60 inch RCP on Watkins property.

Change Order #12

Approved by the board on November 26, 2012 (D.B. 14 Pages 448-449).
Modifications for final change requests from walkthrough for Substantial Completion Inspection. (Fence posts to protect manholes, bolt down lid castings, re-grade & modify street / curb inlets etc.)

Change Order #11----- \$850.00

Change Order #12----- \$10,850.00

Change Orders #11 and #12 ----- \$11,700.00

Change Order #13

Change Order #13

Approved by the board on January 14, 2013 (D.B. 14 Page 470).
Install 468 Lineal Feet of 24" RCP, 2 - 48" diameter manholes & connect to existing line. This new line was installed between Manhole #12 and Manhole #15

Change Order #13 ----- \$45,000.00

Change Order #14

Change Order #14

Approved by the board on February 11, 2013 (D.B. 14 Page 507).
Install inlet structure where old 18" line connects to the new 24" line.

Change Order #14 ----- \$3,000.00

Change Order Totals

Change Order #1 -----	\$12,790.00
Change Order #2 -----	\$2,962.00
Change Order #3 -----	(-\$2,594.40)
Change Order #4 -----	(-\$21,500.00)
Change Order #5 -----	\$4,430.00
Change Order #6 -----	\$1,700.00
Change Order #7 -----	\$4,000.00
Change Order #8 -----	\$8,531.20
Change Order #9 -----	\$1,500.00
Change Order #10 -----	\$4,900.00
Change Order #11 -----	\$850.00
Change Order #12 -----	\$10,850.00
Change Order #13 -----	\$45,000.00
Change Order #14 -----	\$3,000.00
Change Orders #1 Through #14 -----	\$76,418.80

Project Totals

Watson Excavating Base Bid	\$769,890.60
Watson Excavating Change Orders	\$76,418.80
Watson Excavating Total	\$846,309.40

Watson Excavating Total	\$846,309.40
Triad Engineering Total	\$123,000.00
Mendenhall for Triad	\$3,000.00
Mendenhall and Associates	\$45,000.00
Project Total	\$1,017,309.40

Project Funding

This project was paid for in part by a grant received from Indiana Office of Community and Rural Affairs (OCRA). The grant was administered by Mendenhall and Associates. The total for the grant was \$600,000.00. The OCRA grant paid 58.98% of the project and Hamilton County paid 41.02% of the project. The breakdown of payments is as follows:

Grant Fund Paid Watson Excavating	\$600,000.00
Hamilton County Paid Watson Excavating	\$246,309.40
Hamilton County Paid Triad Engineering	\$123,000.00
Hamilton County Paid Mendenhall and Associates	\$45,000.00
Hamilton County Paid Mendenhall for Triad	\$3,000.00
<hr/> Project Total	<hr/> \$1,017,309.40

Certified Assessment for Reconstruction	\$417,330.38
<hr/> Hamilton County portion of this project	<hr/> \$417,309.40
Unexpended Reconstruction Funds	\$20.98

Per Indiana Code 36-9-27-85(d), I recommend that the unexpended reconstruction funds be transferred to the periodic maintenance fund for the Miller Carson Regulated Drain.

I recommend the Board approve the construction as complete and acceptable. I also recommend that the Board release the surety provided by the contractor per IC 36-9-27-78

Respectfully,



Andrew Conover
Inspector

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Miller-Carson Drain Reconstruction

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced project.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced project.
4. The drainage facilities within the above referenced project to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature: Thomas Schubert Date: 06-07-2013

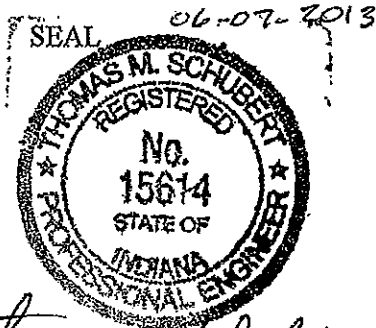
Type or Print Name: Thomas M. Schubert, P.E.

Business Name: Triad Associates, Inc.

Business Address: 5835 Eawton Loop E, Drive

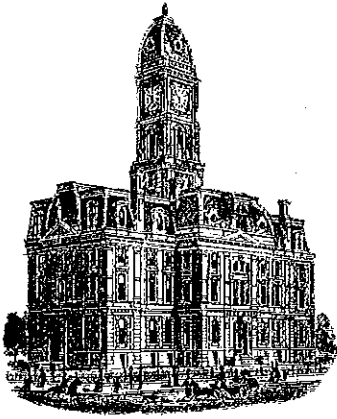
Indianapolis, Indiana 46216

Telephone Number: (317) 377-5230



INDIANA REGISTRATION NUMBER

IN60015614



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

November 6, 2013

Re: Miller-Carson & Whistler-Brenner: Town of Atlanta Reconstruction

Attached are as-builts, certificate of completion & compliance, and other information for Town of Atlanta Reconstruction. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated March 20, 2012. The report was approved by the Board at the hearing held May 14, 2012. (See Drainage Board Minutes Book 14, Pages 152-175)
The changes are as follows:

12" RCP – 3281' 18" HDPE – 5' 30" RCP – 15' 24" RCP – 468
48" RCP – 45' 60" RCP – 2226

The length of the new drain due to the changes described above is now **6040 feet**.

It should be noted that the Miller-Carson tile was removed from Sta. 17+60 to Sta. 20+00 and from approximately Sta. 33+91 to Sta. 38+90. Station 33+91 is where the tile was tied into Structure 1A. The tile was left in place from Sta. 20+00 to Sta. 33+91. Arm 1 was removed from Station 15+24 to Sta. 16+27 and Arm 2 from Sta. 19+80 to Sta. 20+00. Arm 3 was tied into new Structure 1F2. The tile connected into the Miller-Carson tile much further north than it had been mapped. Therefore, Arm 3 was either removed or did not exist between Station 23+84 to Station 31+32. Therefore, it should be noted that the watershed gained **4,380 feet** to its overall length.

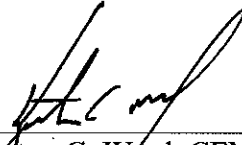
Drainage easements were obtained across the Robinson property (06-02-01-00-00-020.000) and the Lee Property (03-02-01-00-00-019.000). All other drain relocated or constructed was done in existing drainage easements or road right of way as outlined in my report dated March 20, 2012. It should also be noted that while the current parcel lines do not depict it there is a 40 foot right of way for Jackson Street that extends west across parcel #06-

02-01-03-04-009.000. This was discussed and clarified before the Drainage Board on March 12, 2012. (See DRB 14, PG 109)

The project was paid with by federal funding through an OCRA grant and with a drainage reconstruction assessment on those properties within the watershed. The completion of the work, pay claims, and change orders were outlined in the Final Inspection report by Drainage Inspector Andy Conover dated July 25, 2013.

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/slm

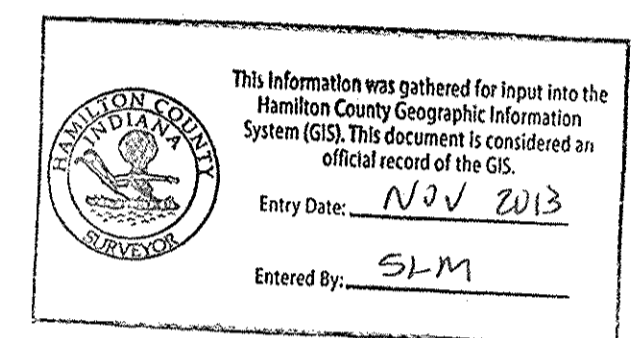
PROPOSED STORM WATER IMPROVEMENTS

FOR THE

TOWN OF ATLANTA

WITH THE HAMILTON COUNTY DRAINAGE BOARD JACKSON TOWNSHIP - HAMILTON COUNTY, INDIANA MILLER-CARSON DRAIN RECONSTRUCTION

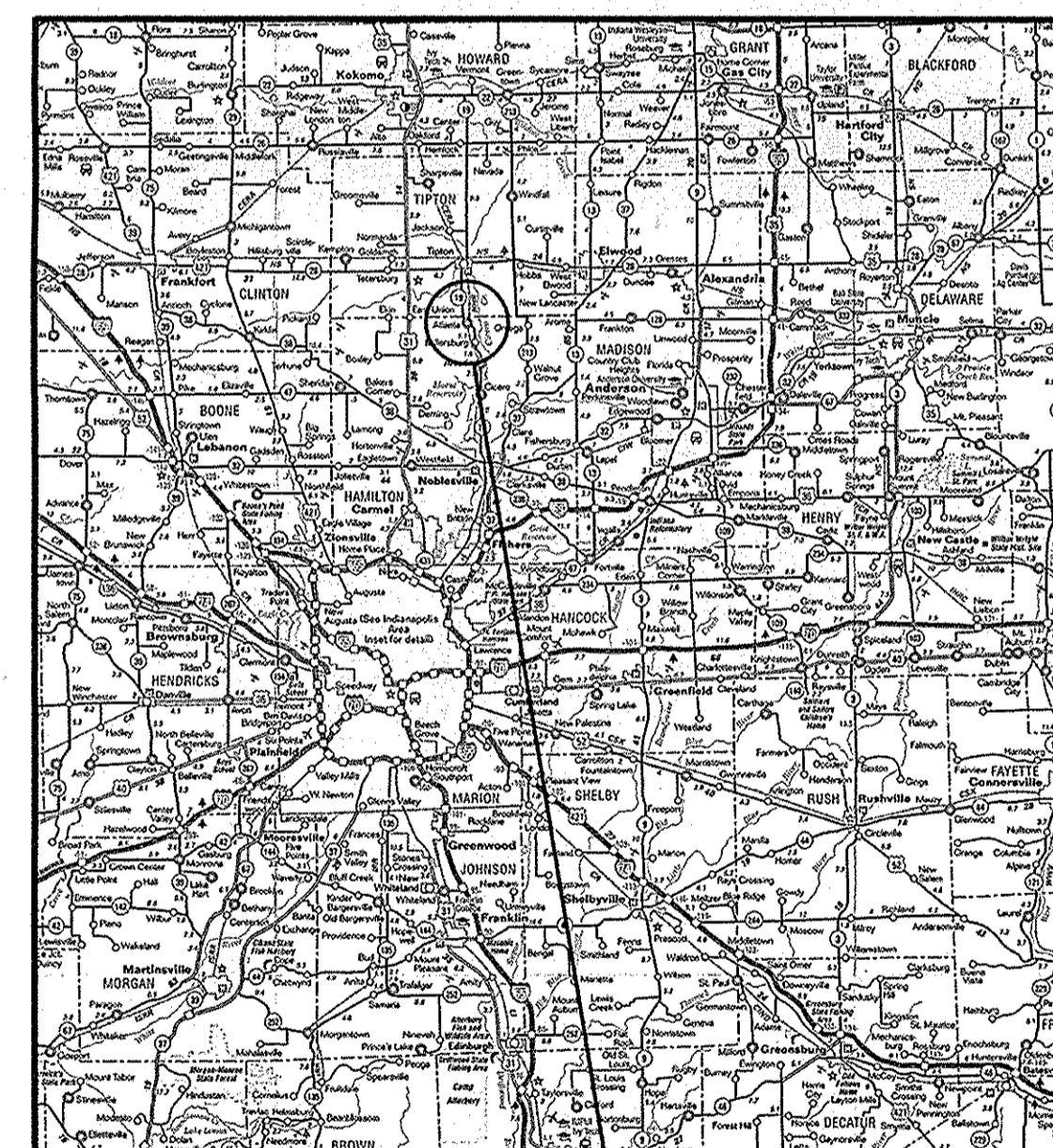
MARCH, 2012



SHEET INDEX

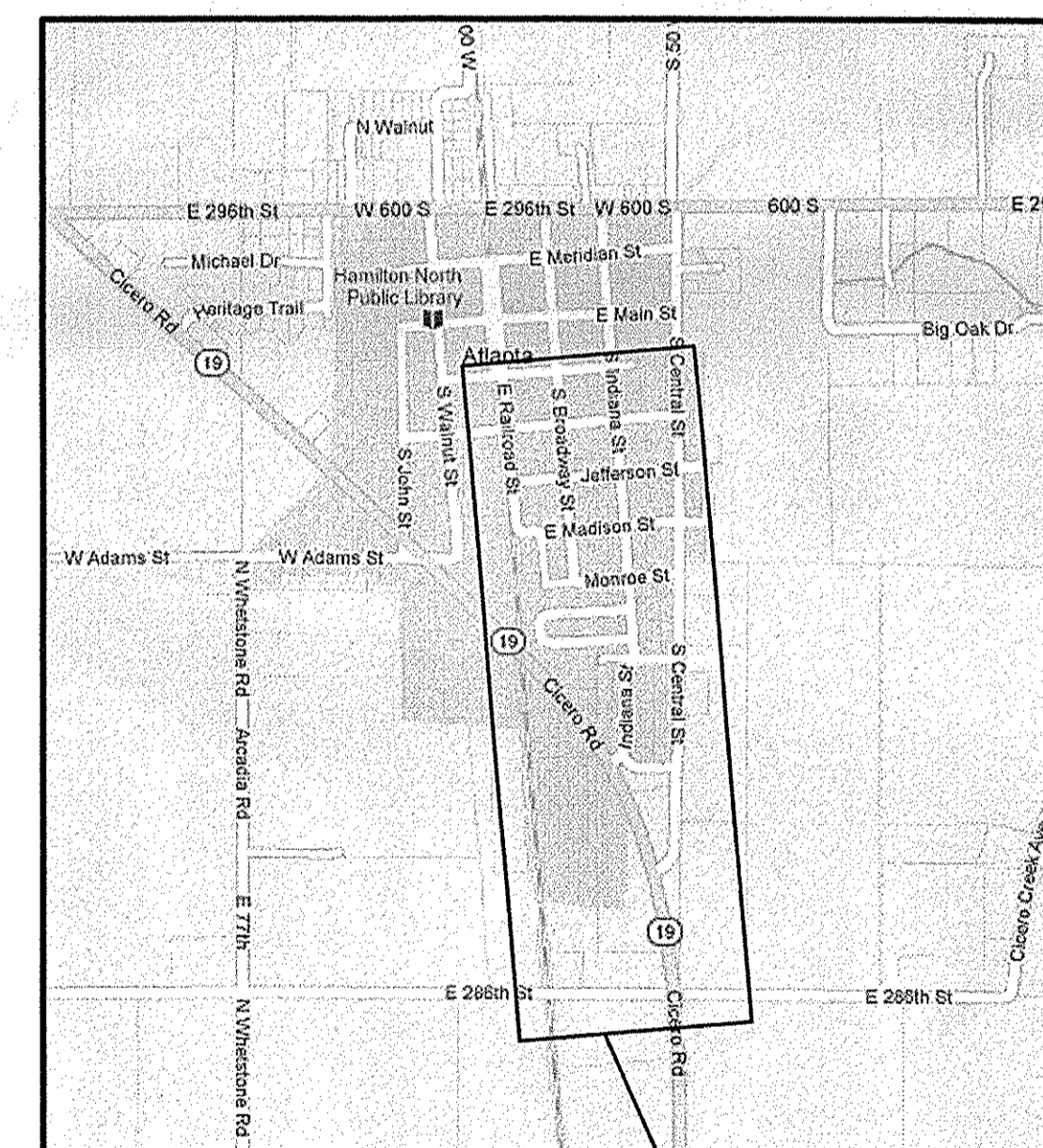
SHEET NO.	DESCRIPTION
1	TITLE SHEET AND INDEX
2	OVERALL BASE MAP
3-8	STORM DRAINAGE SYSTEM IMPROVEMENTS
9-10	MISC. DETAILS
11	S.R. 19 TRAFFIC CONTROL
12	HHPA RAILROAD INFORMATION
EC1-EC3	EROSION CONTROL SHEETS

AREA MAP

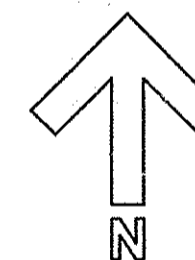


AREA LOCATION

LOCATION MAP



PROJECT LOCATION



TOWN COUNCIL

105 E. MAIN ST.
ATLANTA, IN 46031
(765)292-2626

Steve Dial – President
John 'Abe' Evans – Member
Gerald Rouch – Member

HAMILTON COUNTY DRAINAGE BOARD

1 HAMILTON CO. SQUARE, SUITE 188
NOBLESVILLE, IN 46060
(317)776-8495

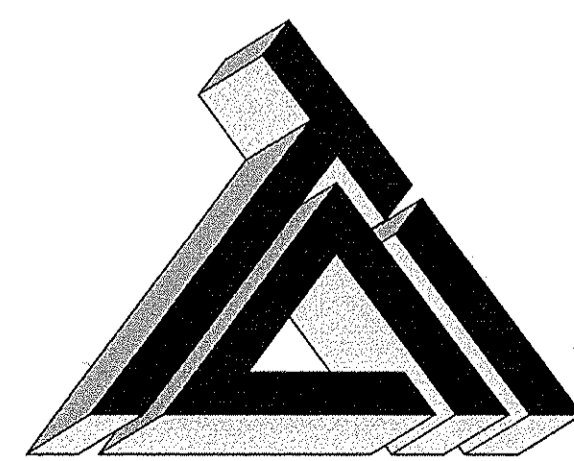
Steven C. Dillinger – President
Christine Altman – Vice President
Steven A. Holt – Member

HAMILTON COUNTY SURVEYOR

1 HAMILTON CO. SQUARE, SUITE 188
NOBLESVILLE, IN 46060
(317)776-8495

Kent Ward

PLANS PREPARED BY:



TRIAD ASSOCIATES INC.
5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5016	856.16	MAG NAIL SET
TBM #5021	859.99	MAG NAIL SET
TBM #5027	860.00	REBAR SET
TBM #5028	860.50	MAG NAIL SET
TBM #5029	859.10	PK NAIL SET
TBM #5056	859.79	MAG NAIL SET
TBM #5060	858.58	PK NAIL SET
TBM #5249	859.40	MAG NAIL SET
SCX 1	858.61	NE CORNER OF SW QUARTER OF S1, T20N, R4E, REBAR FOUND
SCX 2	866.25	NW CORNER OF SW QUARTER OF S1, T20N, R4E, HARRISON MONUMENT FOUND
SCX 3	861.23	SW CORNER OF SW QUARTER OF S1, T20N, R4E, RAILROAD SPIKE FOUND
SCX 4	858.44	SE CORNER OF SW QUARTER OF S1, T20N, R4E, HARRISON MONUMENT FOUND

NOTE

ADDITIONAL RIGHT-OF-WAY OR EASEMENTS MAY NEED TO BE ACQUIRED FOR INSTALLATION OF SEWER.



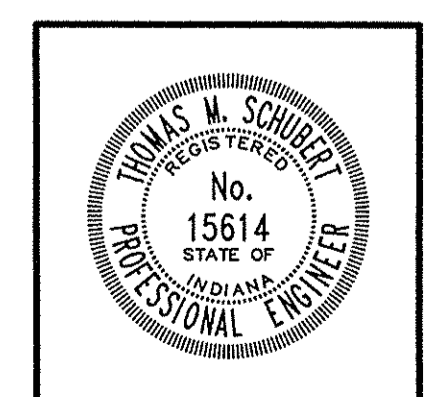
DON'T DIG BLIND
CALL BEFORE YOU DIG
NEW MEDIA
1-800-382-5544
OUTSIDE INDIANA
1-800-428-5200

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

NOTE: CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION

THESE PLANS CERTIFIED BY:

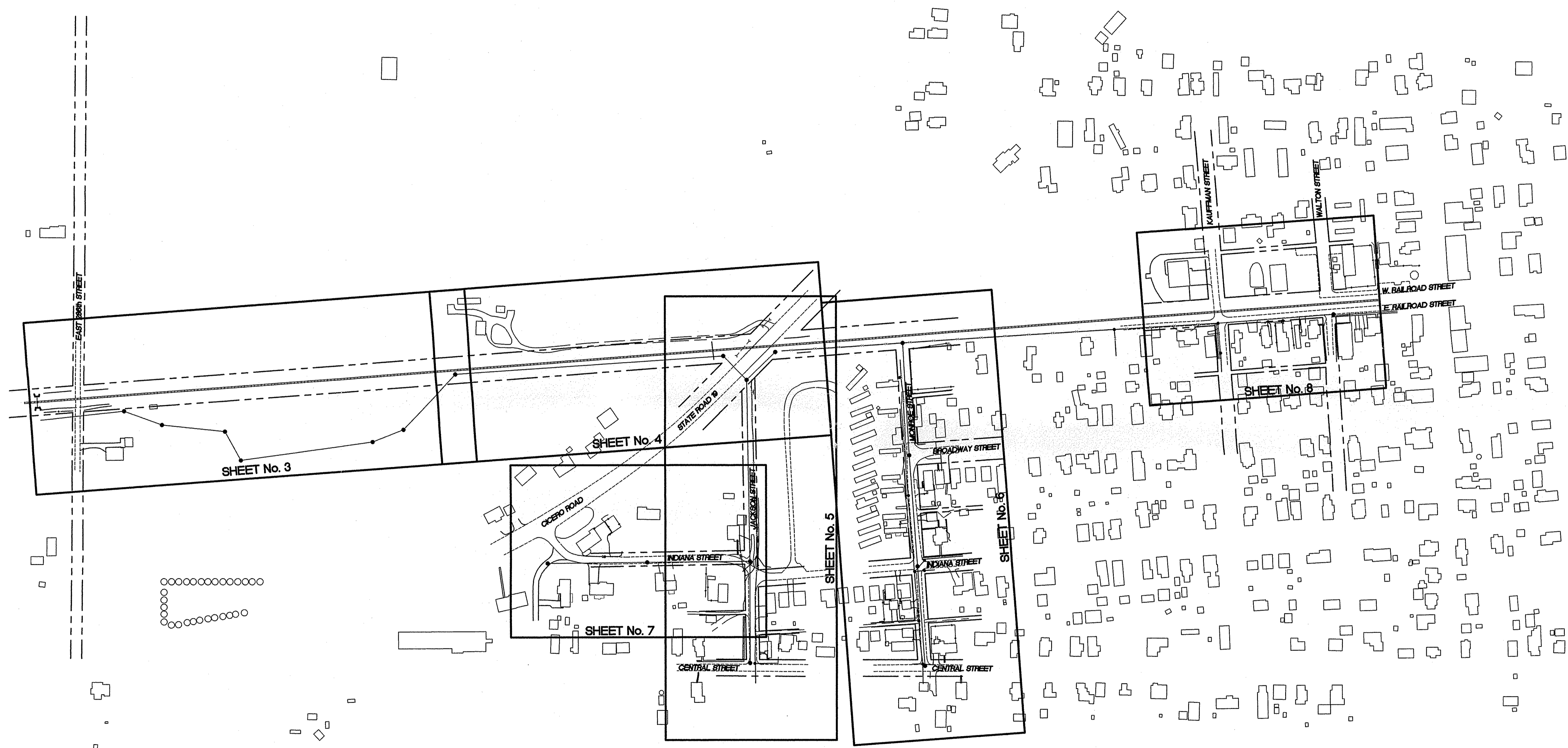
Thomas M. Schubert, Professional Engineer




RECORD DRAWING

12-13-2012

J.E.C.



TOWN OF ATLANTA, INDIANA
 NOT TO SCALE



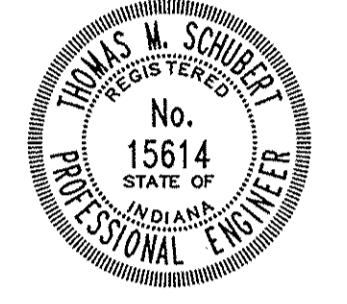
RECORD DRAWING
 12-13-2012
 J.E.C.

CONSULTANT:

REVISIONS:

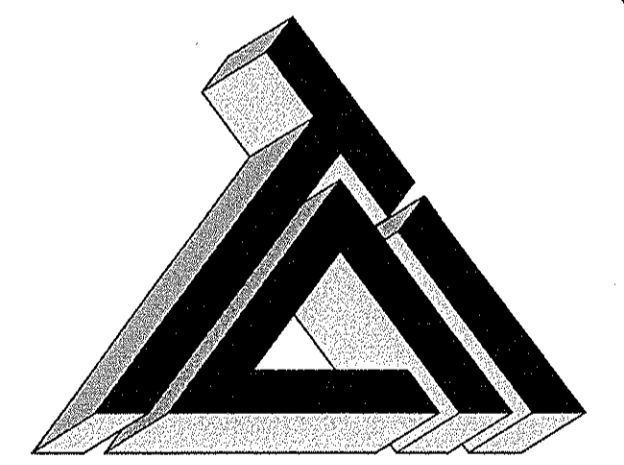
DATE	DESCRIPTION	BY

APPROVED BY:



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: Nov 2013
 Entered By: SLM

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TRIAD ASSOCIATES INC.
 5835 LAWTON LOOP EAST DRIVE
 INDIANAPOLIS, INDIANA 46216
 PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:

THE TOWN OF ATLANTA
 WITH THE HAMILTON COUNTY DRAINAGE BOARD
 HAMILTON COUNTY, INDIANA

SHEET TITLE:
 PROPOSED STORM WATER IMPROVEMENTS
 INDEX SHEET

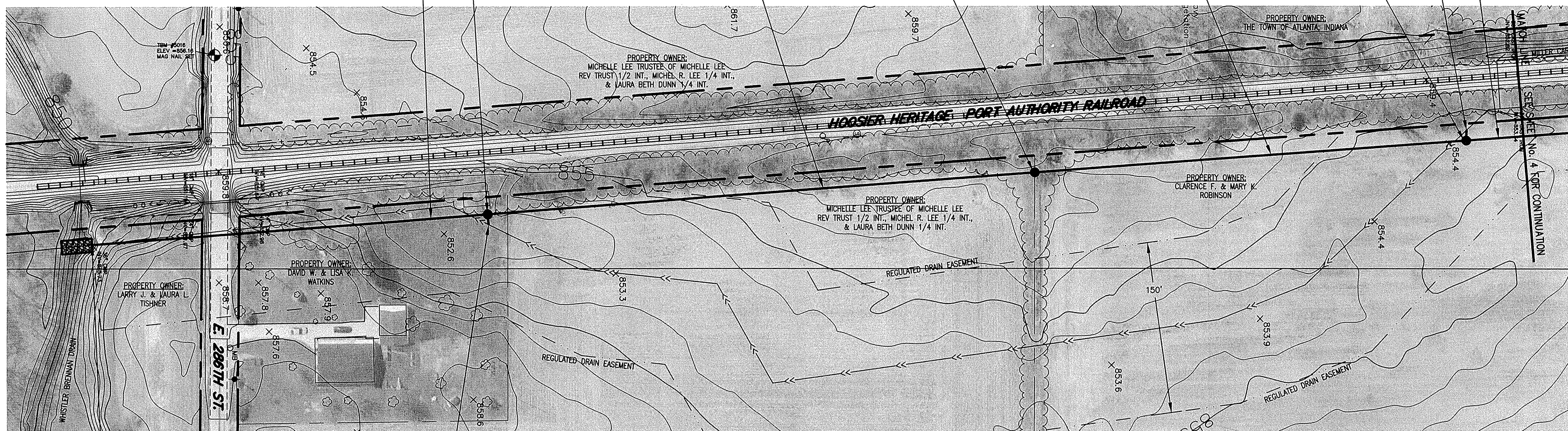
JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: AS NOTED	PLOT DATE: 03/09/2012
PLOT SCALE: 1=165	DATE: MARCH, 2012
DRAWN BY: DAP	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-INDEX-RD	

SHEET No.

2

OF 10

BENCHMARK TABLE		
BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5016	856.16	MAG NAIL SET



RECORD DRAWING

12-13-2012

J.E.C.

RAILROAD

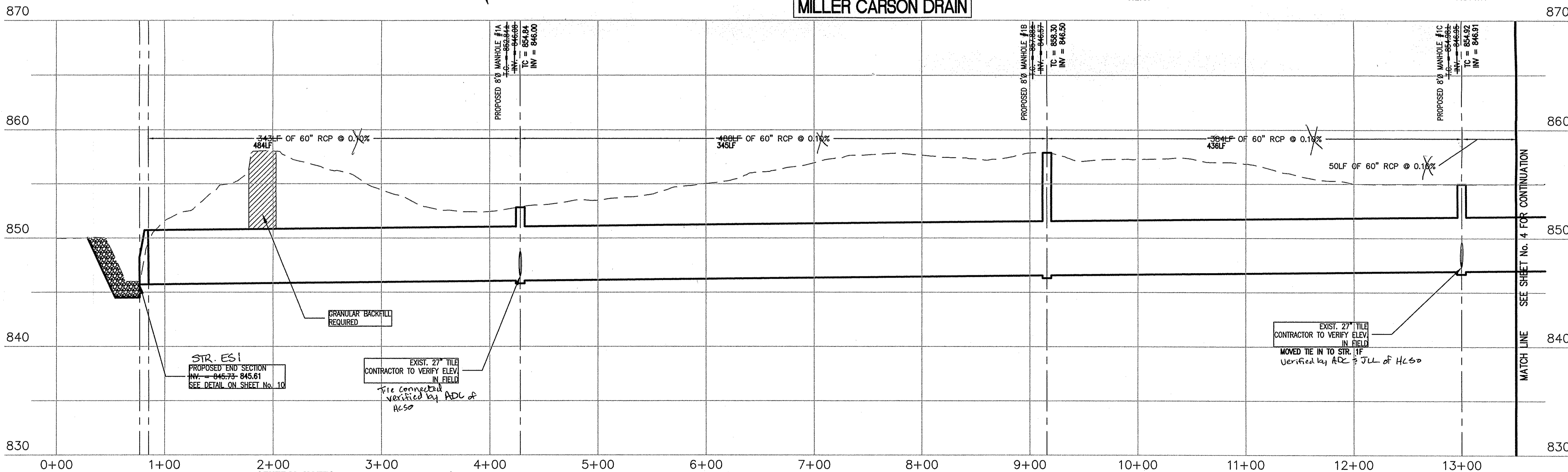
SCALE: 1"=50'



STR ES1
PROPOSED END SECTION
845.61 INV. - 845.73
SEE DETAIL ON SHEET No. 10

CONTRACTOR TO CONNECT EXIST. 27" TILE TO PROPOSED MANHOLE. INVERT TO BE FIELD VERIFIED.
MOVED STR. TO ACTUAL LOCATION OF EXIST. 27"

Set an Inlet instead in this location per ADC of HCSO.



- GENERAL NOTES:**
- ALL UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES FIELD VERIFIED AND MARKED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS.
 - ALL PROPOSED TOP OF CASTING ELEVATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST FINAL ELEVATIONS AS REQUIRED TO BE FLUSH WITH PAVEMENT.
 - ALL SEWER TRENCHES SHALL BE BACKFILLED WITH FULL DEPTH COMPACTED GRANULAR BACKFILL ("B" BORROW) UNDER OR WITHIN 5' OF EDGE OF PAVEMENT.
 - CONTRACTOR IS TO RECONNECT ALL FARM FIELD TILES ENCOUNTERED DURING CONSTRUCTION TO PROPOSED PROJECT.
 - THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BECOME FAMILIAR WITH ALL SITE CONDITIONS.
 - THE CONTRACTOR SHALL PROVIDE THE REQUIRED MEANS FOR MAINTAINING SAFE TRAFFIC AT ALL TIMES.
 - CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS, STREETS, WALKS, DRIVES, ETC. AS SHOWN ON DRAWINGS, IN THE SPECIFICATIONS, OR TO AT LEAST PRE-EXISTING CONDITIONS.
 - ALL UTILITY CROSSINGS SHALL BE PROTECTED AND SUPPORTED WITH GRANULAR FILL OR CONCRETE AS REQUIRED PER THE DETAIL SHEET.
 - WHEN PLACING INLETS AND EXIST. STORM LINE IS ENCOUNTERED, CONTRACTOR SHALL CONNECT EXIST. STORM LINE TO NEW STRUCTURE.
 - CONTRACTOR TO REPLACE TOPSOIL ON ANY EXISTING GRASS OR CROP AREAS.

LEGEND:

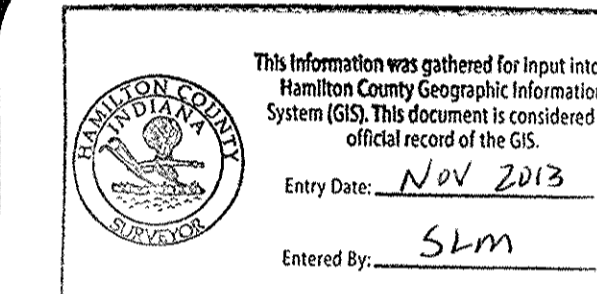
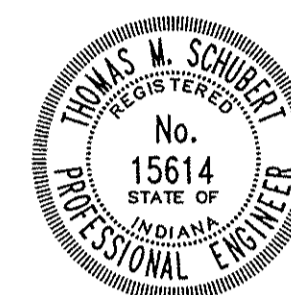
- | | | | | | |
|--|-------------------------------------|--|----------------------------|--|--|
| | TREE | | POWER POLE | | EXISTING COMBINATION MANHOLE |
| | EXISTING FIRE HYDRANT | | MISCELLANEOUS POSTS | | EXISTING SANITARY MANHOLE |
| | PROPOSED FIRE HYDRANT | | LIGHT POLE | | EXISTING STORM MANHOLE |
| | MAILBOX | | INLET | | EXISTING TELEPHONE/FIBER OPTIC MANHOLE |
| | SIGN | | ASPHALT SURFACE | | EXISTING SANITARY SEWER |
| | SPOT SHOT | | CONCRETE SURFACE | | EXISTING STORM SEWER |
| | CONTOUR | | STONE SURFACE | | APPROX. PROPERTY LINE |
| | FENCE | | PROPOSED STORM SEWER | | PROPOSED UTILITY EASEMENT |
| | EXIST. COMBINATION SEWER w/ MANHOLE | | EXISTING WATER LINE | | EXISTING UTILITY EASEMENT |
| | | | EXISTING ROAD DRAIN | | |
| | | | GAS LINE | | |
| | | | UNDERGROUND TELEPHONE LINE | | |
| | | | EXISTING FIBER OPTIC LINE | | |
| | | | APPROX. RIGHT-OF-WAY | | |

CONSULTANT:

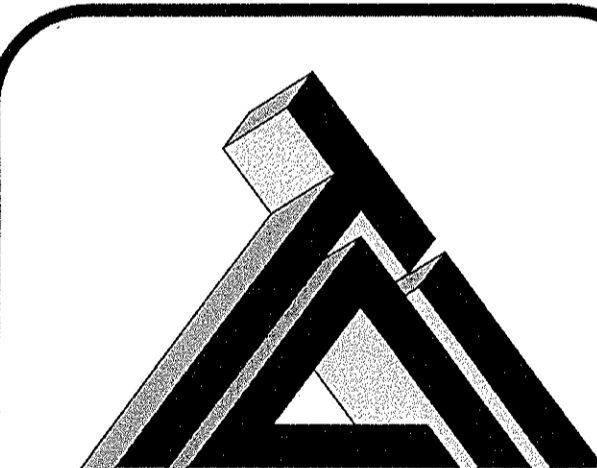
REVISIONS:

DATE	DESCRIPTION	BY
06/18/12	MODIFIED ALIGNMENT	JEC

APPROVED BY:



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TRIAD ASSOCIATES INC.
5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

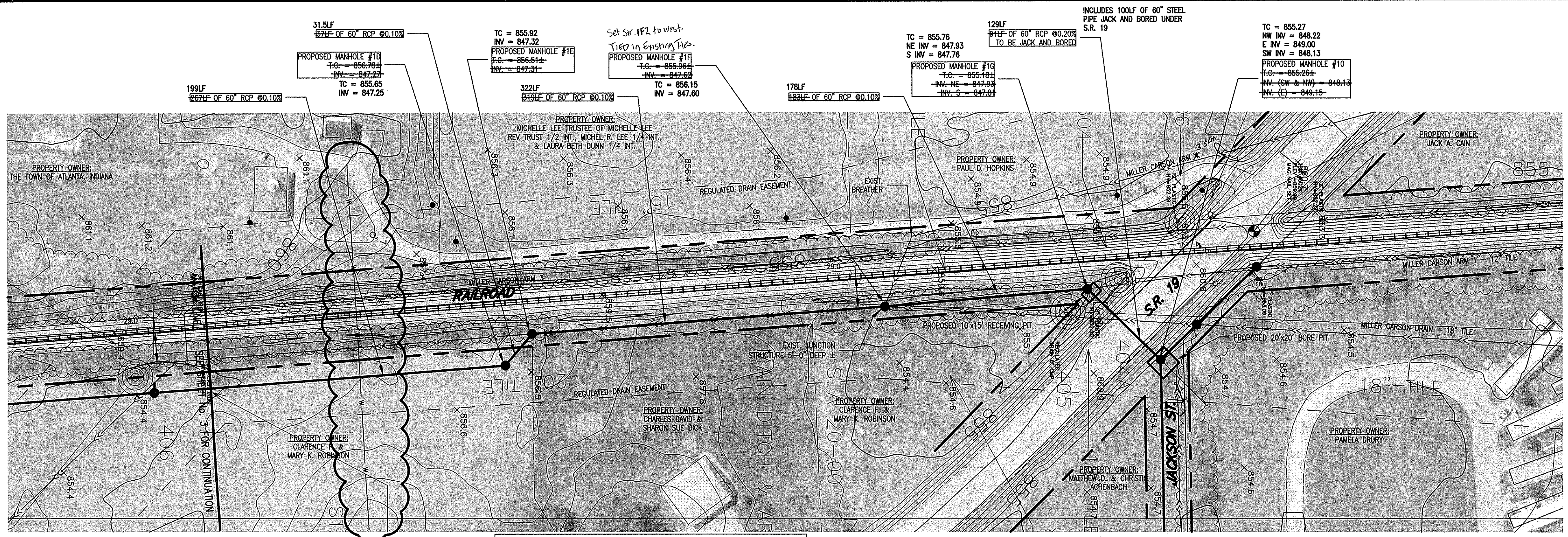
DESIGNED FOR:

THE TOWN OF ATLANTA WITH THE HAMILTON COUNTY DRAINAGE BOARD HAMILTON COUNTY, INDIANA

SHEET TITLE:
RAILROAD STORM WATER IMPROVEMENTS RAILROAD OUTFALL

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: 1" = 50'	PLOT DATE: 1/18/2012
PLOT SCALE: 1" = 1'	DATE: MARCH 2012
DRAWN BY: JEC	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-SHEETS 3-4-5-RD	

SHEET No.
3

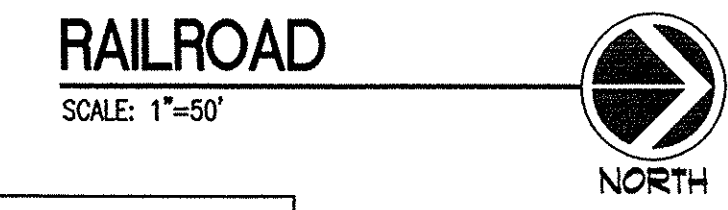


BENCHMARK TABLE		
BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5021	859.99	MAG NAIL SET

- HHPA RAILROAD NOTES:**
- CONSTRUCTION WITHIN THE HOOSIER HERITAGE PORT AUTHORITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE HHPA SPECIFICATIONS FOR PIPELINE OCCUPANCY.
 - ABANDONED STRUCTURES IN RAILROAD RIGHT-OF-WAY TO BE REMOVED TO A MINIMUM OF 2'-0" BELOW FINISHED GRADE & COMPLETELY FILLED WITH GROUT.
 - EXISTING LOCATION SIGNS SHALL BE RE-INSTALLED IF DISTURBED.
 - BACKFILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PER HHPA REQMS.

RECORD DRAWING

12-13-2012
J.E.C.

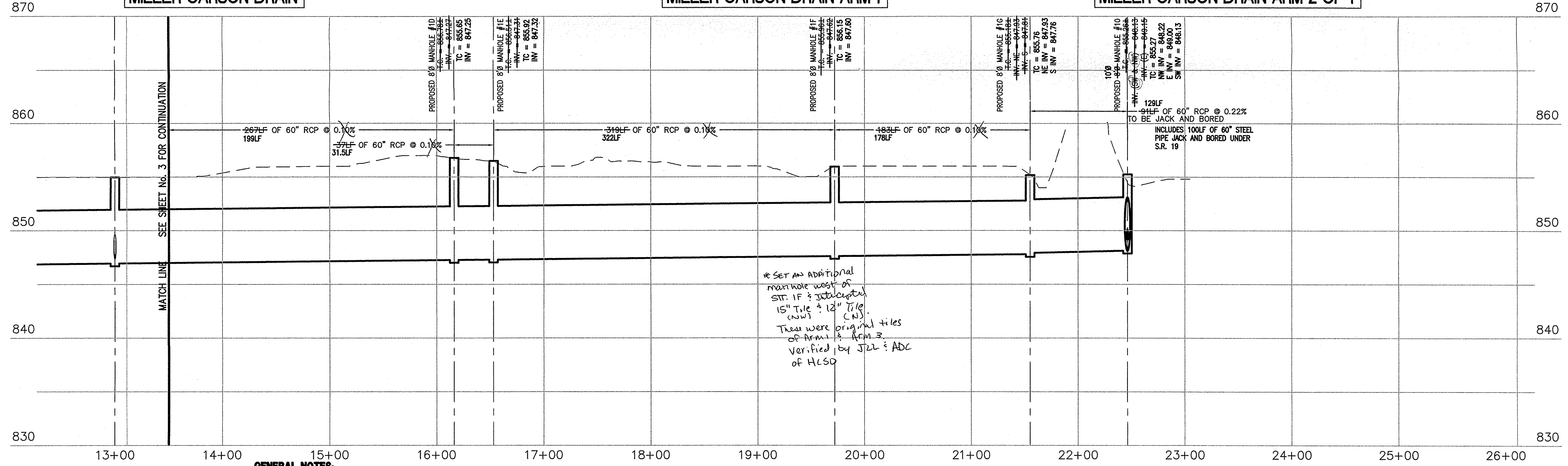


SEE SHEET No. 5 FOR JACKSON ST.

MILLER CARSON DRAIN

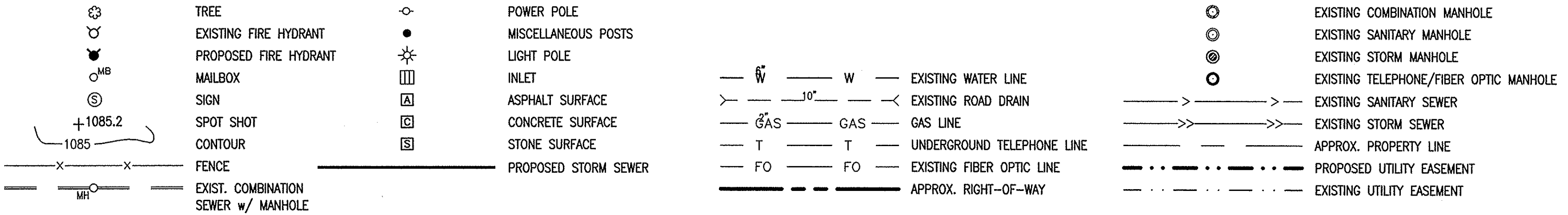
MILLER CARSON DRAIN ARM 1

MILLER CARSON DRAIN ARM 2 OF 1



- GENERAL NOTES:**
- ALL UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES FIELD VERIFIED AND MARKED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS.
 - ALL PROPOSED TOP OF CASTING ELEVATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST FINAL ELEVATIONS AS REQUIRED TO BE FLUSH WITH PAVEMENT.
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 - ALL UTILITY CROSSINGS SHALL BE PROTECTED AND SUPPORTED WITH GRANULAR FILL OR CONCRETE AS REQUIRED PER THE DETAIL SHEET.
 - WHEN PLACING INLETS AND EXIST. STORM LINE IS ENCOUNTERED, CONTRACTOR SHALL CONNECT EXIST. STORM LINE TO NEW STRUCTURE.
 - CONTRACTOR TO REPLACE TOPSOIL ON ANY EXISTING GRASS OR CROP AREAS.

LEGEND:

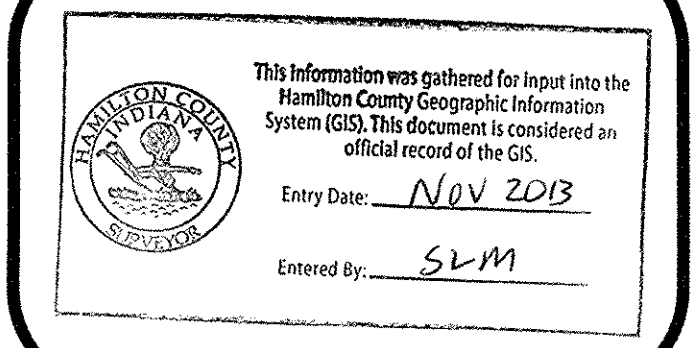


CONSULTANT:

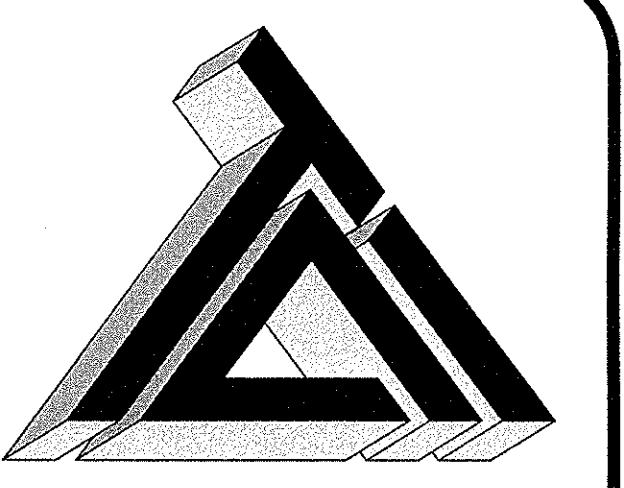
REVISIONS:

DATE	DESCRIPTION	BY
04/30/12	RAILROAD REVISIONS	BKF
05/14/12	MOVED PROPOSED MH#9	BKF
06/18/12	MODIFIED ALIGNMENT	JEC
8/6/12	ADDED EXISTING WATERLINE	JEC

APPROVED BY:



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TRIAD ASSOCIATES INC.
5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:

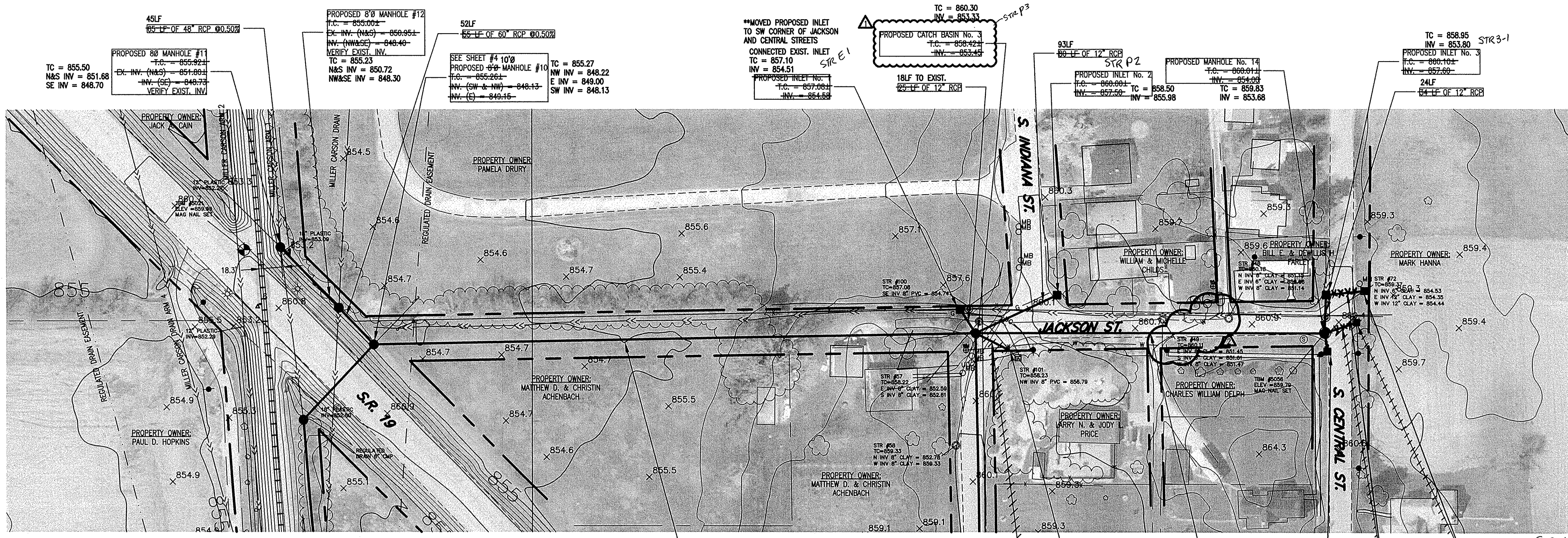
THE TOWN OF ATLANTA WITH THE HAMILTON COUNTY DRAINAGE BOARD HAMILTON COUNTY, INDIANA

SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS RAILROAD OUTFALL

JOB NUMBER:	CHECKED BY: RM
SCALE: 1"=50'	PLOT DATE: 1/18/2012
PLOT SCALE: 1=1	DATE: MARCH 2012
DRAWN BY: JEC	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-SHEETS 3-4-5-RD	

SHEET No.

4



CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY
04/30/12	RAILROAD REVISIONS	BKF
05/15/12	SWCD REVISIONS	BKF
8/6/12	EXISTING WATERLINE LOCATION	JEC

APPROVED BY:

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Entry Date: Nov 2013
Entered by: SLM

SEE SHEET No. 4 FOR RAILROAD OUTFALL

SEE SHEET No. 7 FOR INDIANA ST.

BENCHMARK TABLE

BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5021	859.99	MAG NAIL SET
TBM #5056	859.79	MAG NAIL SET

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MILLER CARSON ARM 2 OF 1

RECORD DRAWING

12-13-2012
J.E.C.

JACKSON ST.
SCALE: 1"=50'
NORTH

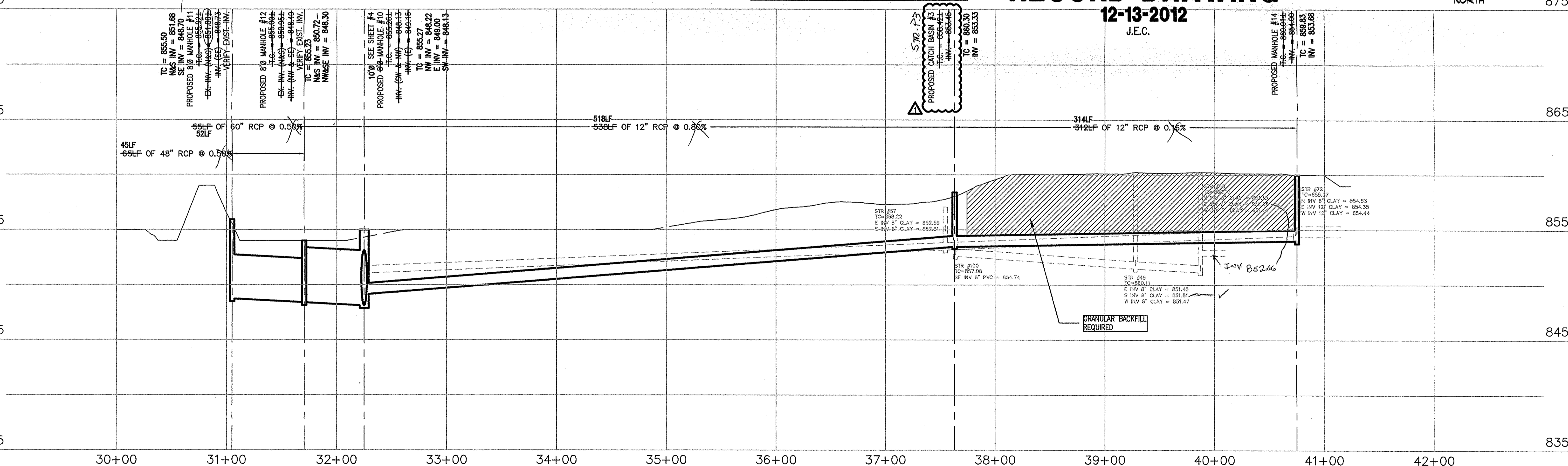
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5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:
THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
JACKSON STREET

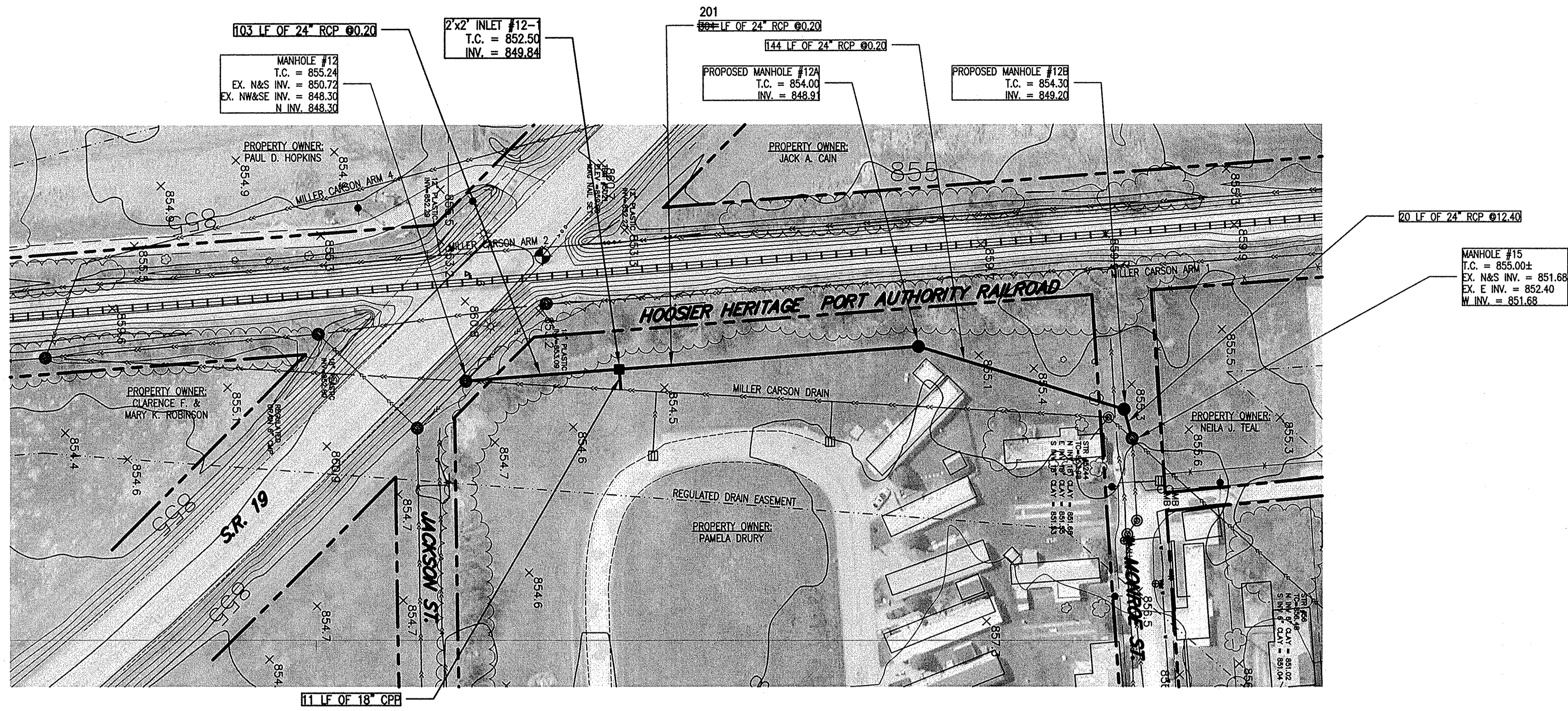
JOB NUMBER: 201205A
SCALE: 1"=50'
PLOT SCALE: 1"=1'
DRAWN BY: JEC
CHECKED BY: RM
PLOT DATE: 1/18/2012
DATE:
DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-SHEETS 3-4-5-RD



- GENERAL NOTES:**
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 - CONTRACTOR TO REPLACE TOPSOIL ON ANY EXISTING GRASS OR CROP AREAS.

LEGEND:

	TREE		POWER POLE		EXISTING COMBINATION MANHOLE
	EXISTING FIRE HYDRANT		MISCELLANEOUS POSTS		EXISTING SANITARY MANHOLE
	PROPOSED FIRE HYDRANT		LIGHT POLE		EXISTING STORM MANHOLE
	MAILBOX		INLET		EXISTING TELEPHONE/FIBER OPTIC MANHOLE
	SIGN		ASPHALT SURFACE		EXISTING SANITARY SEWER
	SPOT SHOT		CONCRETE SURFACE		EXISTING STORM SEWER
	CONTOUR		STONE SURFACE		APPROX. PROPERTY LINE
	FENCE		PROPOSED STORM SEWER		PROPOSED UTILITY EASEMENT
	EXIST. COMBINATION SEWER w/ MANHOLE		EXISTING WATER LINE		EXISTING UTILITY EASEMENT
			EXISTING ROAD DRAIN		
			GAS LINE		
			UNDERGROUND TELEPHONE LINE		
			EXISTING FIBER OPTIC LINE		
			APPROX. RIGHT-OF-WAY		

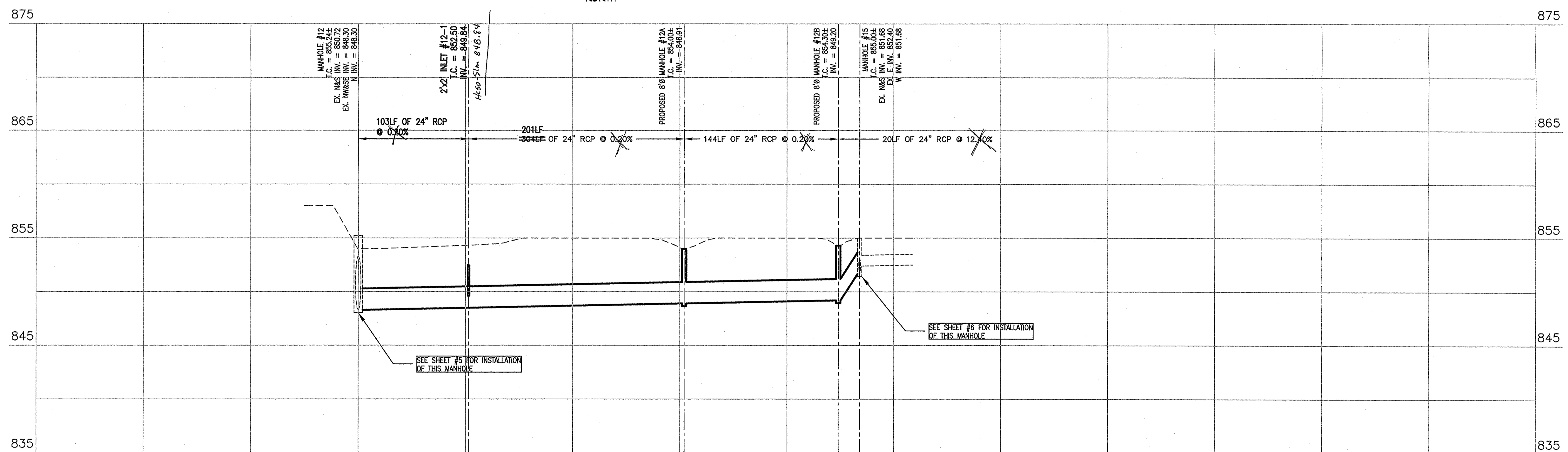


MILLER CARSON DRAIN REPLACEMENT
SCALE: 1"=50'



MILLER CARSON DRAIN

RECORD DRAWING
02-28-2013
J.E.C.



GENERAL NOTES:

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LEGEND:

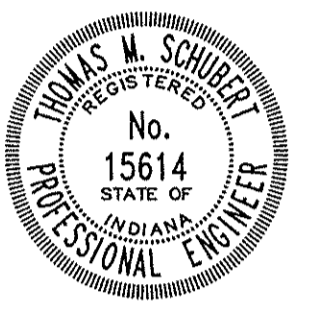
- | | | | |
|-------------------------------------|-----------------------|----------------------------|--|
| TREE | EXISTING FIRE HYDRANT | POWER POLE | EXISTING COMBINATION MANHOLE |
| PROPOSED FIRE HYDRANT | MAILBOX | MISCELLANEOUS POSTS | EXISTING SANITARY MANHOLE |
| SIGN | SPOT SHOT | LIGHT POLE | EXISTING STORM MANHOLE |
| CONTOUR | FENCE | ASPHALT SURFACE | EXISTING TELEPHONE/FIBER OPTIC MANHOLE |
| EXIST. COMBINATION SEWER w/ MANHOLE | PROPOSED STORM SEWER | CONCRETE SURFACE | EXISTING SANITARY SEWER |
| | | STONE SURFACE | EXISTING STORM SEWER |
| | | EXISTING WATER LINE | EXISTING TELEPHONE/FIBER OPTIC MANHOLE |
| | | EXISTING ROAD DRAIN | EXISTING SANITARY SEWER |
| | | GAS LINE | EXISTING STORM SEWER |
| | | UNDERGROUND TELEPHONE LINE | APPROX. PROPERTY LINE |
| | | EXISTING FIBER OPTIC LINE | PROPOSED UTILITY EASEMENT |
| | | APPROX. RIGHT-OF-WAY | EXISTING UTILITY EASEMENT |

CONSULTANT:

REVISIONS:

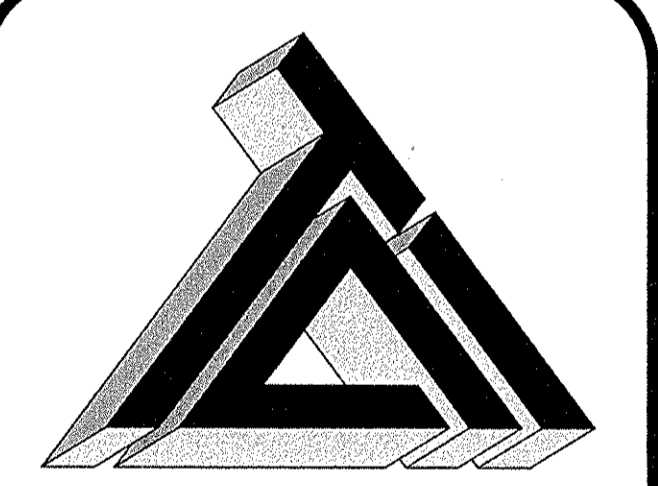
DATE	DESCRIPTION	BY
12/21/12	ADDED SHEET	JEC

APPROVED BY:



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Entered By: SLM

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INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

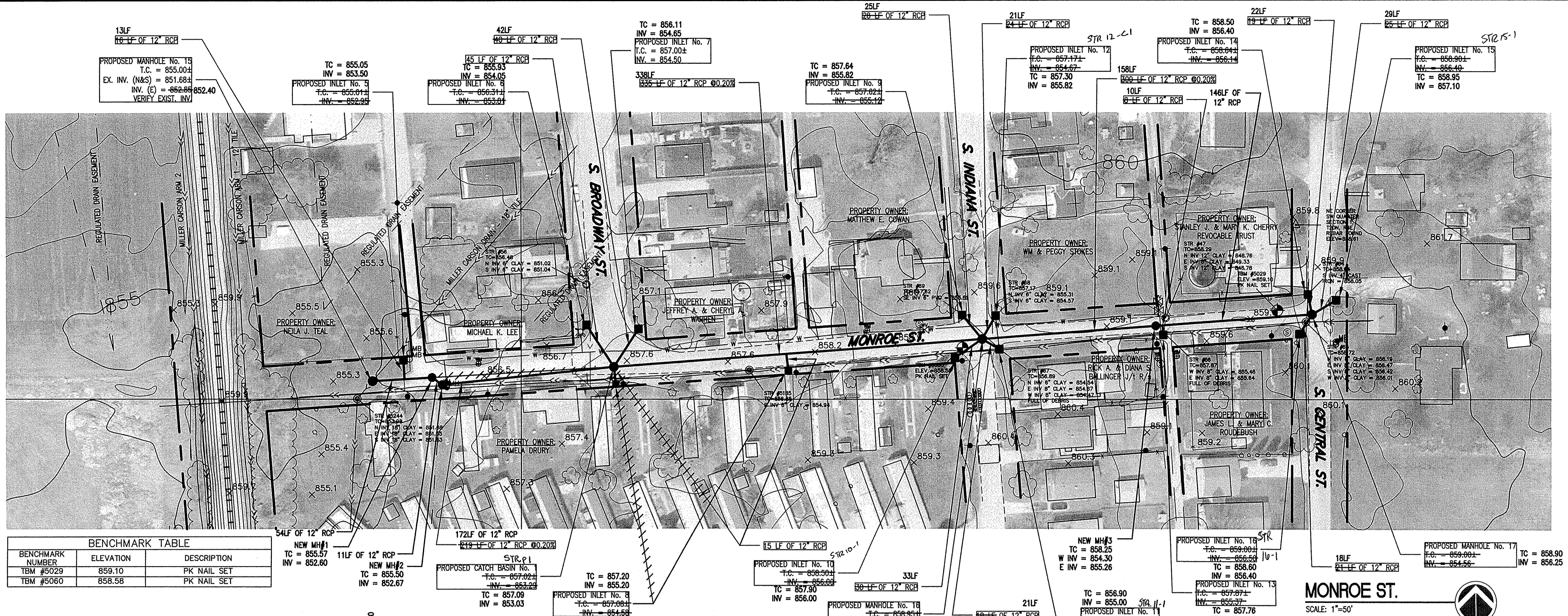
DESIGNED FOR:

THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
ADDITIONAL WORK

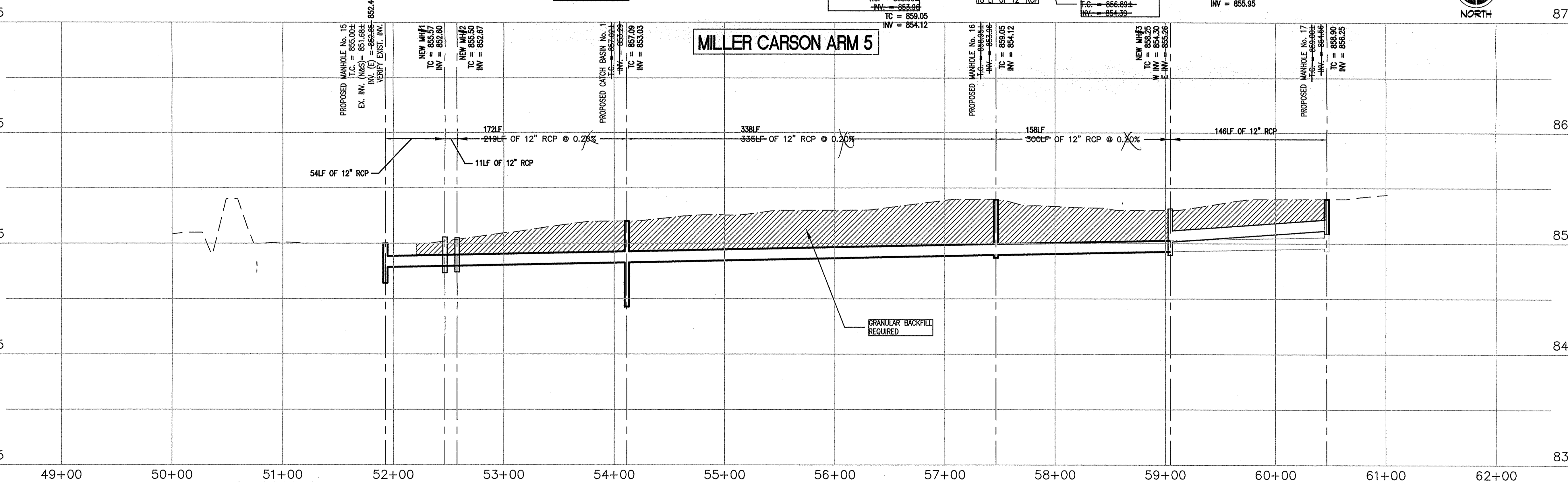
JOB NUMBER: 201205A
SCALE: 1" = 50'
PLOT SCALE: 1 = 1
DRAWN BY: JEC
DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEET 5A-RD

SHEET No.
5A



BENCHMARK TABLE

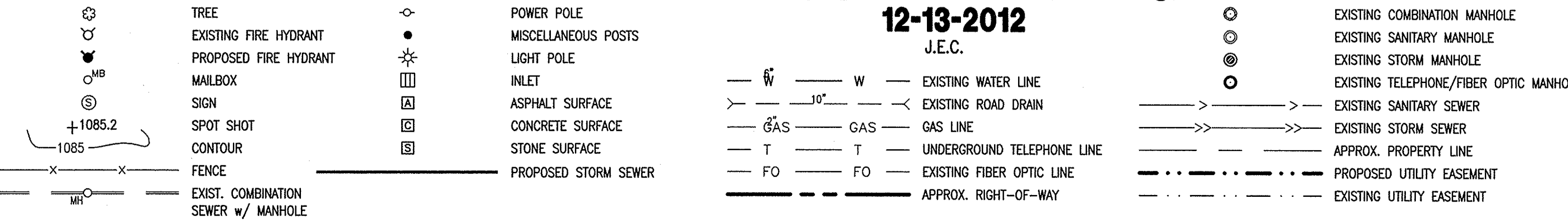
BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5029	859.10	PK NAIL SET
TBM #5060	858.58	PK NAIL SET



GENERAL NOTES:

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LEGEND:



RECORD DRAWING
12-13-2012

J.E.C.

CONSULTANT:

REVISIONS:

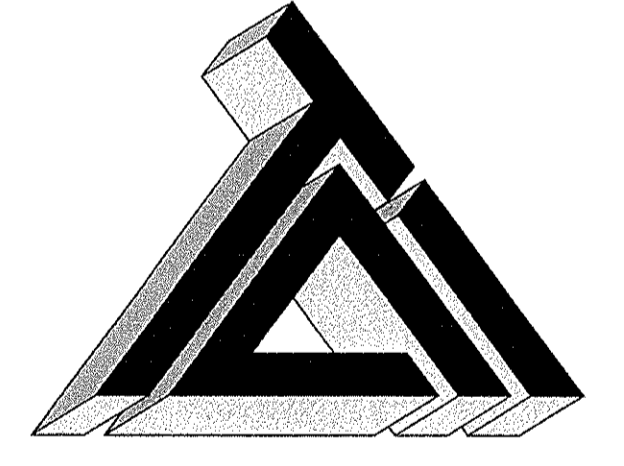
DATE	DESCRIPTION	BY

APPROVED BY:



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INDIANAPOLIS, INDIANA 46216
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DESIGNED FOR:

THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

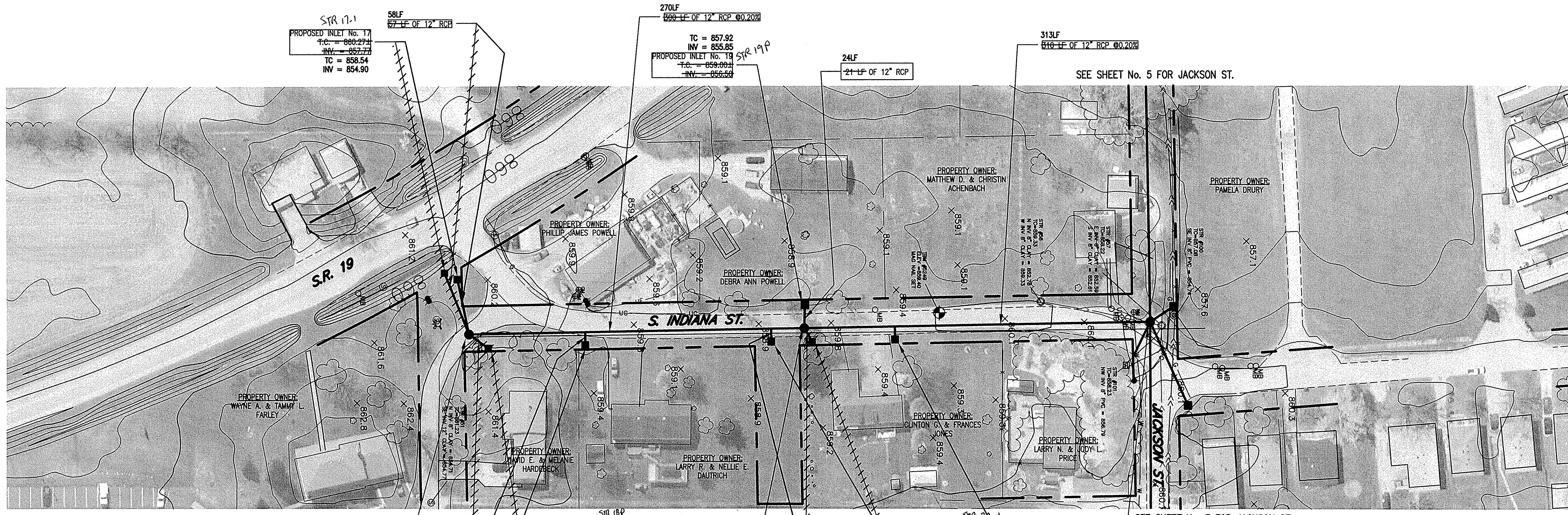
SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
MONROE STREET

JOB NUMBER: 201205A
SCALE: 1" = 50'
PLOT SCALE: 1" = 1'
DRAWN BY: JEC
CHECKED BY: RM
PLOT DATE: 1/18/2012
DATE: MARCH 2012

DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEETS 6-7-8-11-12-F

SHEET No.

6



BENCHMARK TABLE		
BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5249	859.40	MAG NAIL SET

PROPOSED MANHOLE No. 18
 T.C. = 860.19
 I.N.V. = 854.73
 T.C. = 858.84
 I.N.V. = 854.70

PROPOSED INLET No. 18
 T.C. = 859.14
 I.N.V. = 857.50
 T.C. = 857.89
 I.N.V. = 855.97

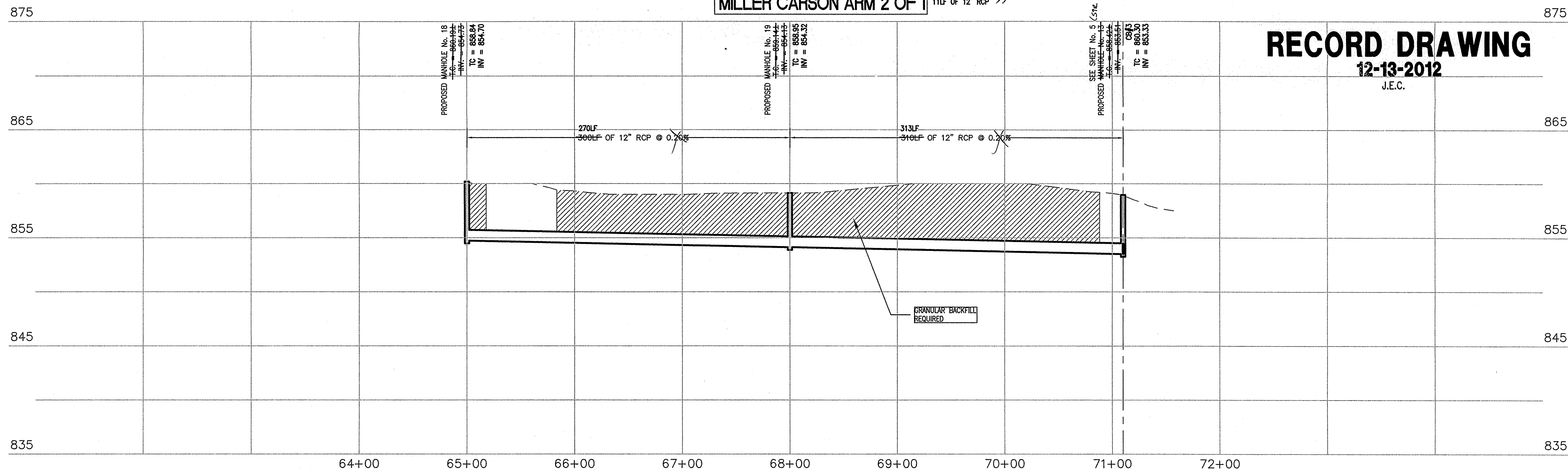
PROPOSED MANHOLE No. 19
 T.C. = 859.14
 I.N.V. = 854.13
 T.C. = 858.95
 I.N.V. = 854.32

PROPOSED INLET No. 20
 T.C. = 859.14
 I.N.V. = 856.88
 T.C. = 857.93
 I.N.V. = 855.91

SEE SHEET No. 3
 PROPOSED MANHOLE #14
 T.C. = 858.42
 I.N.V. = 853.51

S. INDIANA ST.
 SCALE: 1"=50'
 NORTH

MILLER CARSON ARM 2 OF 1



RECORD DRAWING
 12-13-2012
 J.E.C.

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LEGEND:

	TREE		POWER POLE		EXISTING COMBINATION MANHOLE
	EXISTING FIRE HYDRANT		MISCELLANEOUS POSTS		EXISTING SANITARY MANHOLE
	PROPOSED FIRE HYDRANT		LIGHT POLE		EXISTING STORM MANHOLE
	MAILBOX		INLET		EXISTING TELEPHONE/FIBER OPTIC MANHOLE
	SIGN		ASPHALT SURFACE		EXISTING SANITARY SEWER
	SPOT SHOT		CONCRETE SURFACE		EXISTING STORM SEWER
	CONTOUR		STONE SURFACE		APPROX. PROPERTY LINE
	FENCE		PROPOSED STORM SEWER		PROPOSED UTILITY EASEMENT
	EXIST. COMBINATION SEWER w/ MANHOLE		EXISTING WATER LINE		EXISTING UTILITY EASEMENT
			EXISTING ROAD DRAIN		
			GAS LINE		
			UNDERGROUND TELEPHONE LINE		
			EXISTING FIBER OPTIC LINE		
			APPROX. RIGHT-OF-WAY		

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:

THOMAS M. SCHUBERT
 No. 15614
 STATE OF INDIANA
 PROFESSIONAL ENGINEER

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 Entered By: SLM

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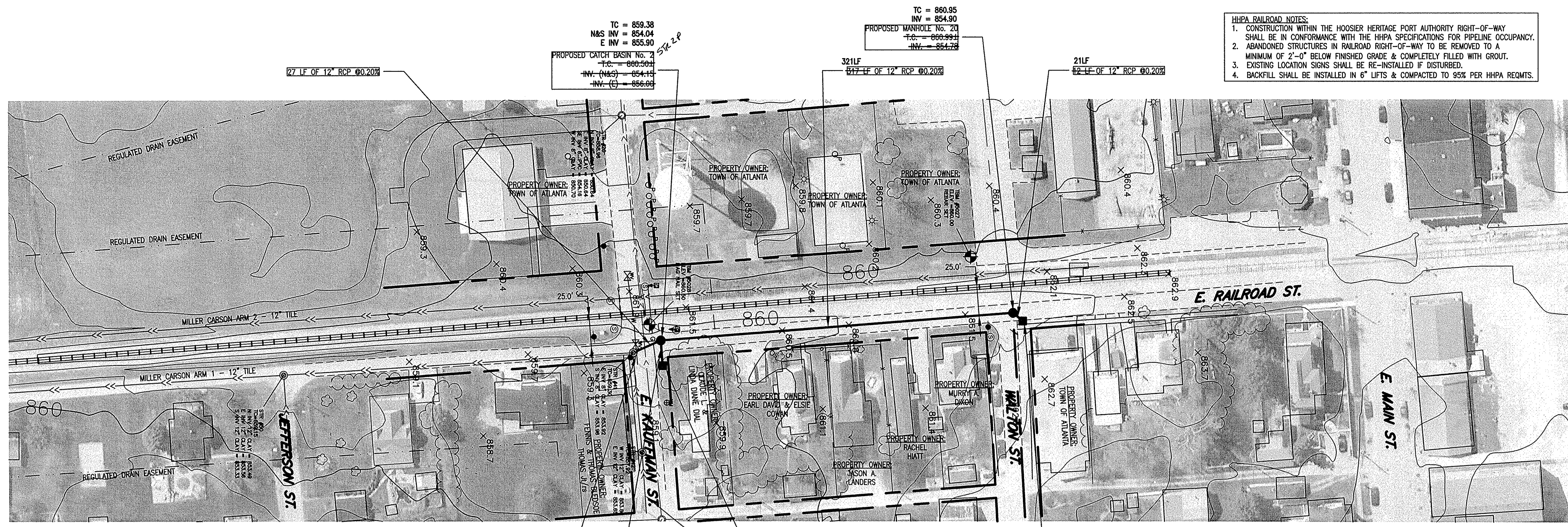
TRIAD ASSOCIATES INC.
 5835 LAWTON LOOP EAST DRIVE
 INDIANAPOLIS, INDIANA 46216
 PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:
 THE TOWN OF ATLANTA
 WITH THE HAMILTON COUNTY DRAINAGE BOARD
 HAMILTON COUNTY, INDIANA

SHEET TITLE:
 PROPOSED STORM WATER IMPROVEMENTS
 SOUTH INDIANA STREET

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: 1"= 50'	PLOT DATE: 1/18/2012
PLOT SCALE: 1= 1	DRAWN BY: JEC
DATE: MARCH 2012	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEETS 6-7-8-11-12-F	

SHEET No. **7**



HHPA RAILROAD NOTES:
 1. CONSTRUCTION WITHIN THE HOOSIER HERITAGE PORT AUTHORITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE HHPA SPECIFICATIONS FOR PIPELINE OCCUPANCY.
 2. ABANDONED STRUCTURES IN RAILROAD RIGHT-OF-WAY TO BE REMOVED TO A MINIMUM OF 2'-0" BELOW FINISHED GRADE & COMPLETELY FILLED WITH GROUT.
 3. EXISTING LOCATION SIGNS SHALL BE RE-INSTALLED IF DISTURBED.
 4. BACKFILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PER HHPA REQMS.

RAILROAD NOTES:
 1. ABANDONED STRUCTURES IN RAILROAD RIGHT-OF-WAY TO BE REMOVED TO A MINIMUM OF 2'-0" BELOW GRADE & FILLED WITH GROUT.
 2. CONSTRUCTION WITHIN THE HOOSIER HERITAGE PORT AUTHORITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE HHPA SPECIFICATIONS FOR PIPELINE OCCUPANCY.

BENCHMARK TABLE

BENCHMARK NUMBER	ELEVATION	DESCRIPTION
TBM #5027	860.00	REBAR SET
TBM #5028	860.50	MAG NAIL SET

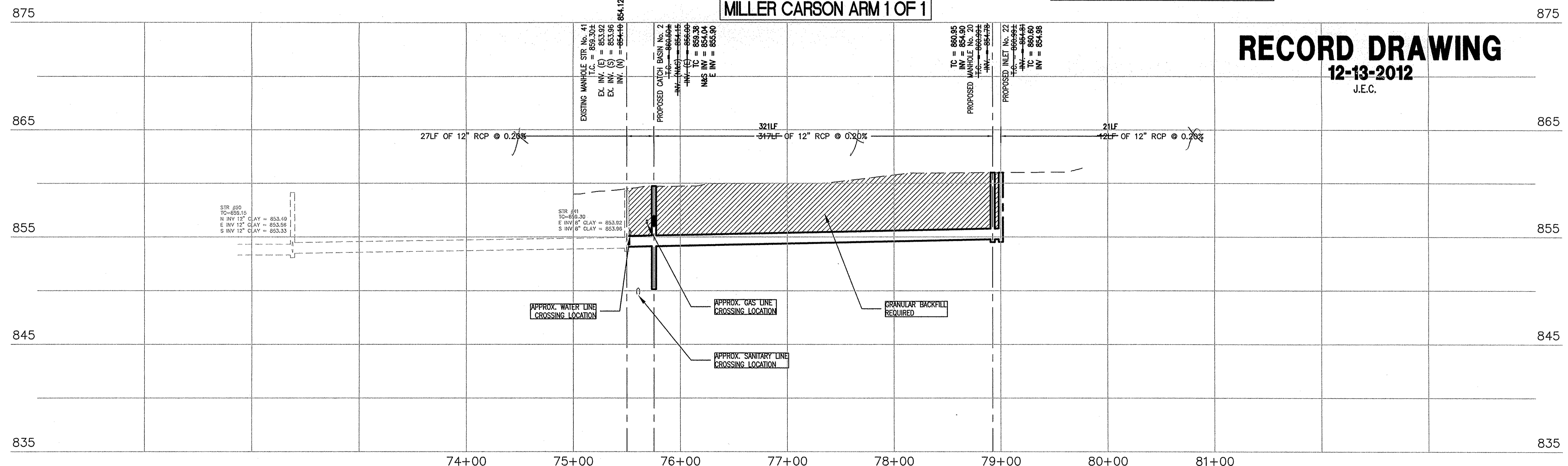
EXISTING MANHOLE STR. No. 41
 T.C. = 859.304
 EX. INV. (E) = 853.92
 EX. INV. (S) = 853.96
 INV. (N) = 854.12

PROPOSED INLET No. 21
 T.C. = 859.524
 INV. = 857.82

PROPOSED INLET No. 22
 T.C. = 860.994
 INV. = 854.84

E. RAILROAD ST.
 SCALE: 1"=50'

MILLER CARSON ARM 1 OF 1



RECORD DRAWING
 12-13-2012
 J.E.C.

- GENERAL NOTES:**
- ALL UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES FIELD VERIFIED AND MARKED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SEWER AND WATER MAINS.
 - ALL PROPOSED TOP OF CASTING ELEVATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL ADJUST FINAL ELEVATIONS AS REQUIRED TO BE FLUSH WITH PAVEMENT.
 - ALL SEWER TRENCHES SHALL BE BACKFILLED WITH FULL DEPTH COMPACTED GRANULAR BACKFILL ("B" BORROW) UNDER OR WITHIN 5' OF EDGE OF PAVEMENT.
 - CONTRACTOR IS TO RECONNECT ALL FARM FIELD TILES ENCOUNTERED DURING CONSTRUCTION TO PROPOSED PROJECT.
 - THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BECOME FAMILIAR WITH ALL SITE CONDITIONS.
 - THE CONTRACTOR SHALL PROVIDE THE REQUIRED MEANS FOR MAINTAINING SAFE TRAFFIC AT ALL TIMES.
 - CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS, STREETS, WALKS, DRIVES, ETC. AS SHOWN ON DRAWINGS, IN THE SPECIFICATIONS, OR TO AT LEAST PRE-EXISTING CONDITIONS.
 - ALL UTILITY CROSSINGS SHALL BE PROTECTED AND SUPPORTED WITH GRANULAR FILL OR CONCRETE AS REQUIRED PER THE DETAIL SHEET.
 - WHEN PLACING INLETS AND EXIST. STORM LINE IS ENCOUNTERED, CONTRACTOR SHALL CONNECT EXIST. STORM LINE TO NEW STRUCTURE.
 - CONTRACTOR TO REPLACE TOPSOIL ON ANY EXISTING GRASS OR CROP AREAS.

LEGEND:

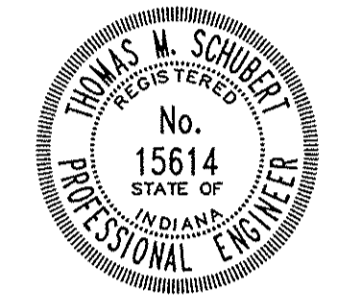
	TREE		POWER POLE		EXISTING COMBINATION MANHOLE
	EXISTING FIRE HYDRANT		MISCELLANEOUS POSTS		EXISTING SANITARY MANHOLE
	PROPOSED FIRE HYDRANT		LIGHT POLE		EXISTING STORM MANHOLE
	MAILBOX		INLET		EXISTING TELEPHONE/FIBER OPTIC MANHOLE
	SIGN		ASPHALT SURFACE		EXISTING SANITARY SEWER
	SPOT SHOT		CONCRETE SURFACE		EXISTING STORM SEWER
	CONTOUR		STONE SURFACE		APPROX. PROPERTY LINE
	FENCE		PROPOSED STORM SEWER		PROPOSED UTILITY EASEMENT
	EXIST. COMBINATION SEWER W/ MANHOLE		EXISTING WATER LINE		EXISTING UTILITY EASEMENT
			EXISTING GAS LINE		
			EXISTING ROAD DRAIN		
			UNDERGROUND TELEPHONE LINE		
			EXISTING FIBER OPTIC LINE		
			APPROX. RIGHT-OF-WAY		

CONSULTANT:

REVISIONS:

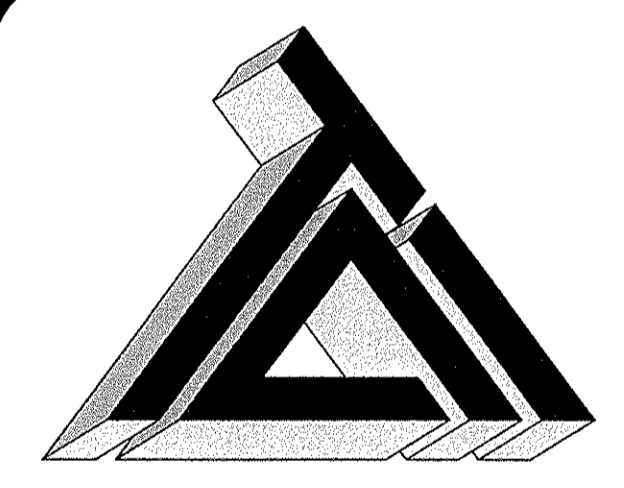
DATE	DESCRIPTION	BY
04/30/12	RAILROAD REVISIONS	BKF

APPROVED BY:



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 Entered by: SLM

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TRIAD ASSOCIATES INC.
 5835 LAWTON LOOP EAST DRIVE
 INDIANAPOLIS, INDIANA 46216
 PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:

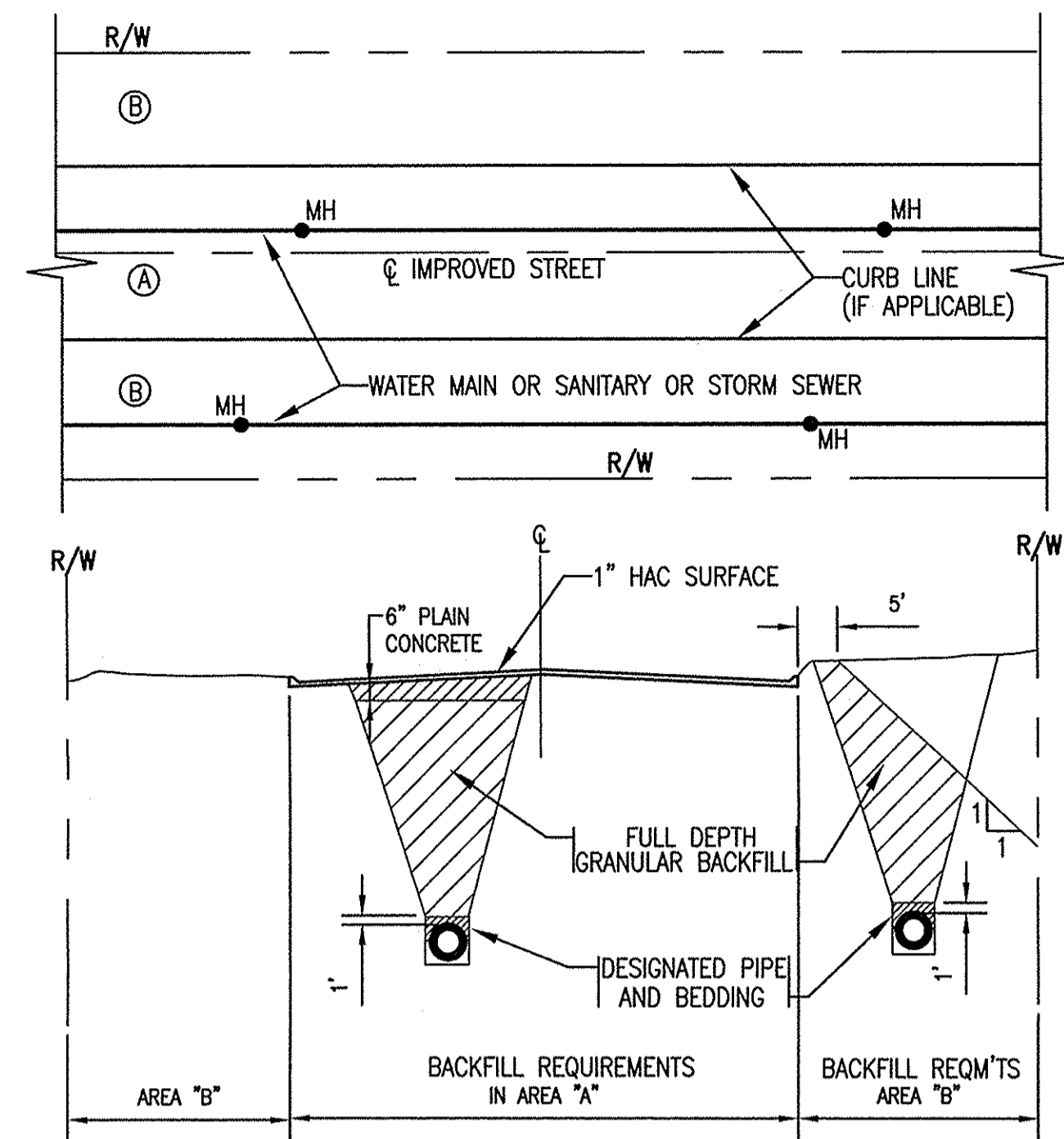
THE TOWN OF ATLANTA
 WITH THE HAMILTON COUNTY DRAINAGE BOARD
 HAMILTON COUNTY, INDIANA

SHEET TITLE:
 PROPOSED STORM WATER IMPROVEMENTS
 EAST RAILROAD STREET

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: 1" = 50'	PLOT DATE: 1/18/2012
PLOT SCALE: 1" = 1'	DATE: MARCH 2012
DRAWN BY: JEC	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEETS 6-7-8-11-12-F	

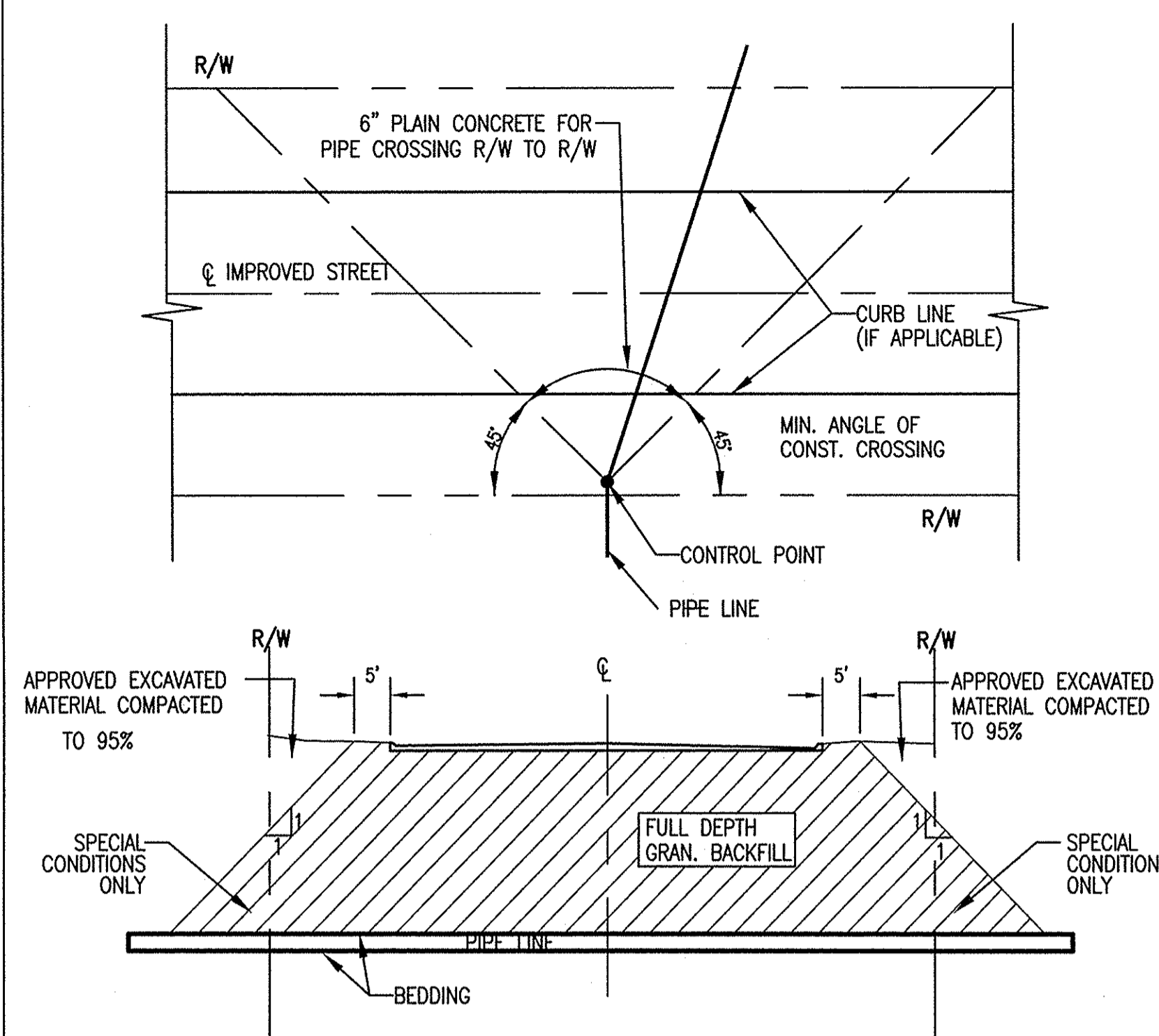
SHEET No.

8



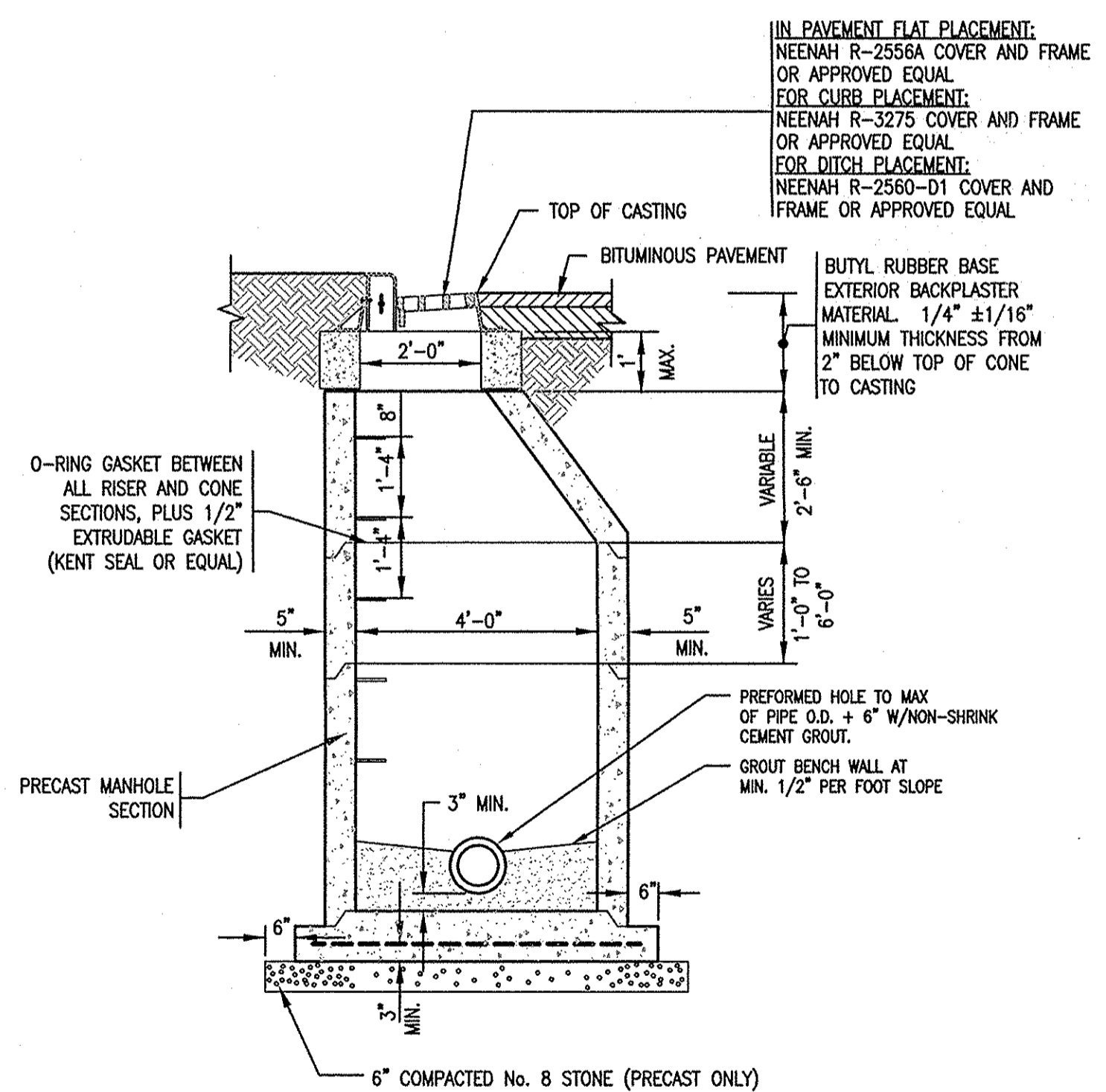
BACKFILL REQUIREMENTS

(FOR PIPELINES WITHIN RIGHT-OF-WAY FOR IMPROVED STREETS)



BACKFILL REQUIREMENTS

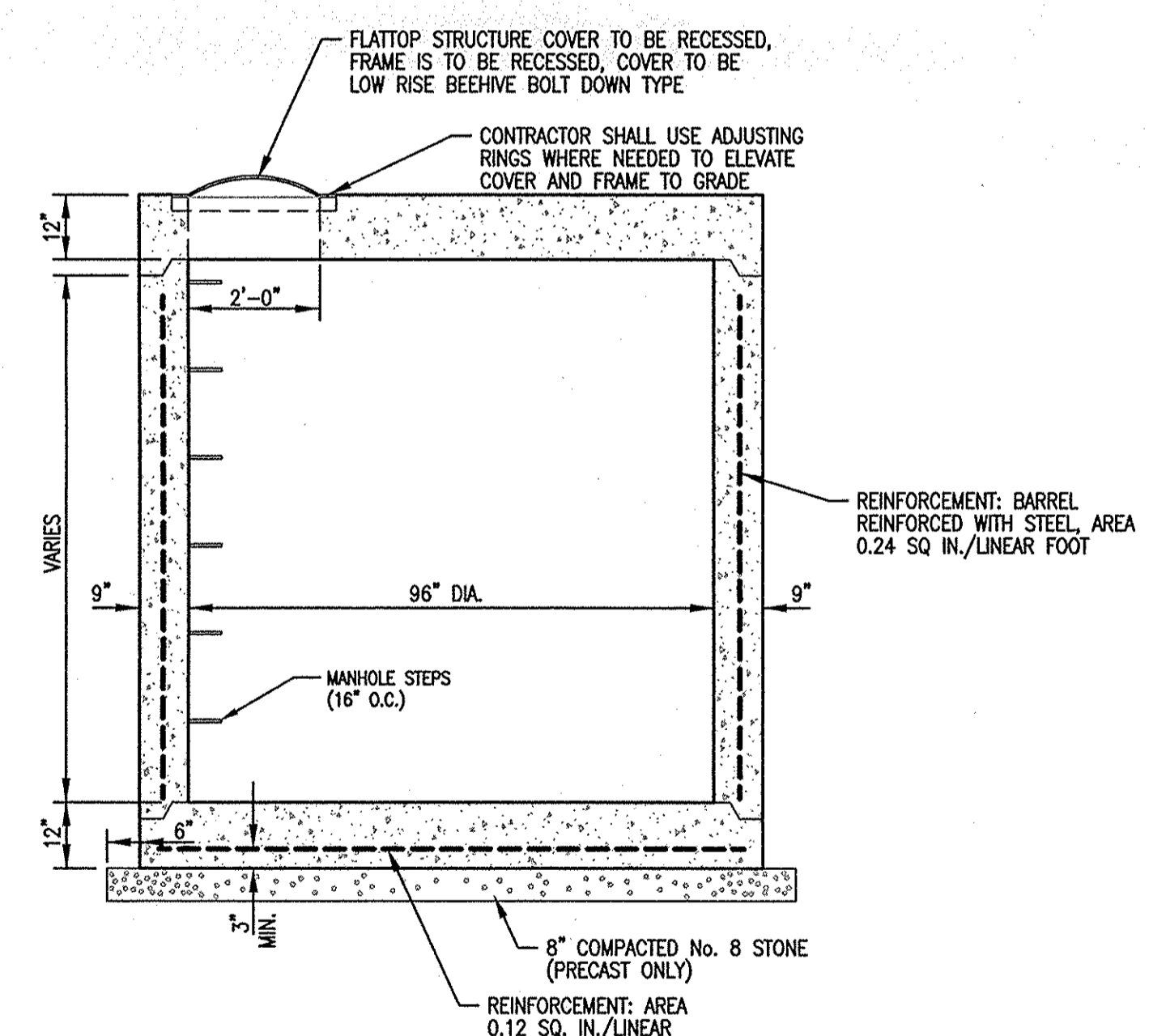
(FOR PIPELINES CROSSING RIGHT-OF-WAY FOR IMPROVED STREETS)



- NOTES:**
1. MANHOLE STEPS SHALL BE POLYPROPYLENE, POLYPROPYLENE COATED STEEL REINFORCING OR APPROVED NON-CORROSIVE FIBERGLASS MATERIAL. COPOLYMER POLYPROPYLENE SHALL MEET ASTM D-4101 REINFORCED WITH DEFORMED 3/8\"
 2. MANHOLE CONFORMS TO ASTM C-478 JOINT CONFORMS TO ASTM C-443

STORM MANHOLE DETAIL

SCALE: N.T.S.



- NOTES:**
1. MANHOLE STEPS SHALL BE POLYPROPYLENE, POLYPROPYLENE COATED STEEL REINFORCING OR APPROVED NON-CORROSIVE FIBERGLASS MATERIAL. COPOLYMER POLYPROPYLENE SHALL MEET ASTM D-4101 REINFORCED WITH DEFORMED 3/8\"
 2. MANHOLE CONFORMS TO ASTM C-478. TONGUE AND GROOVE JOINT WITH MASTIC, BUTYL ROPE OR GASKETED PER ASTM C-443 AS REQUIRED.

8' DIAMETER MANHOLE DETAIL

SCALE: N.T.S.

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:

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PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:

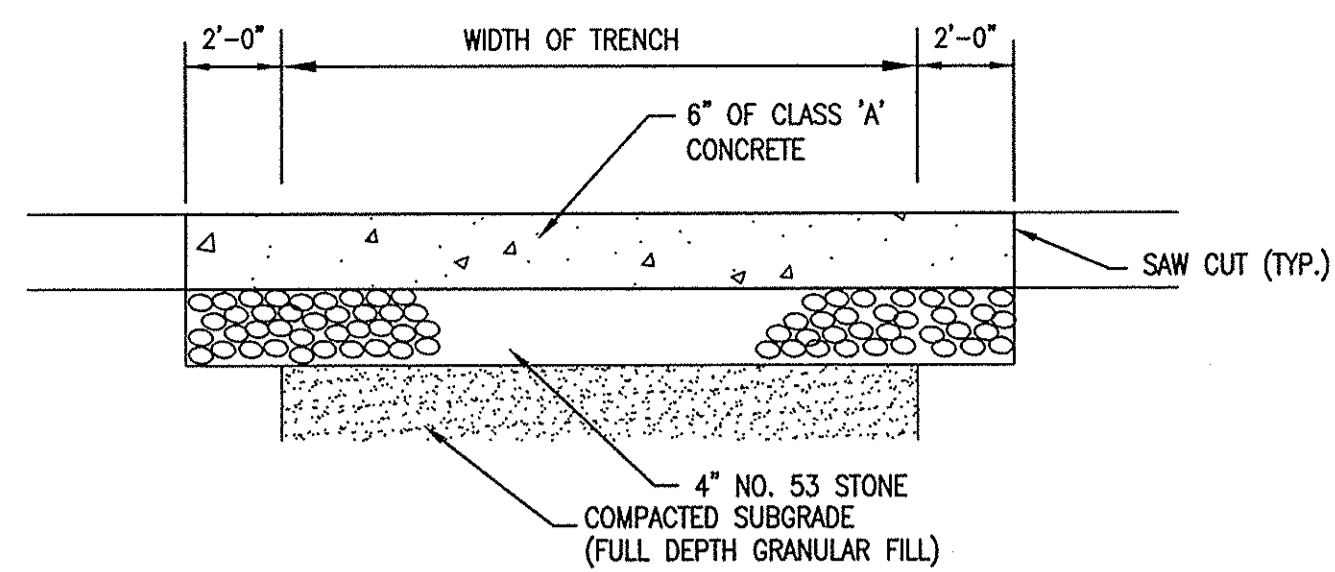
THE TOWN OF ATLANTA
THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
MISCELLANEOUS DETAILS

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: AS NOTED	PLOT DATE: 03/09/2012
PLOT SCALE: 1=1	DATE: MARCH, 2012
DRAWN BY: DAP	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-SHEET 9-RD	

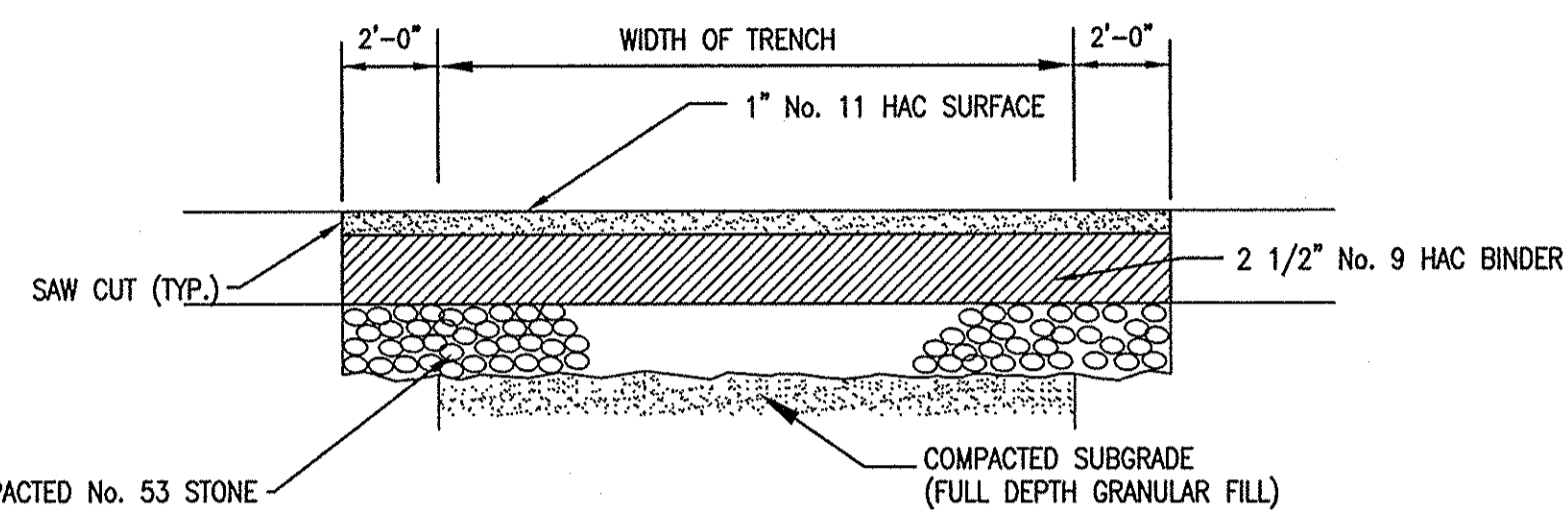
RECORD DRAWING
12-13-2012
J.E.C.

SHEET No.
9
OF 10



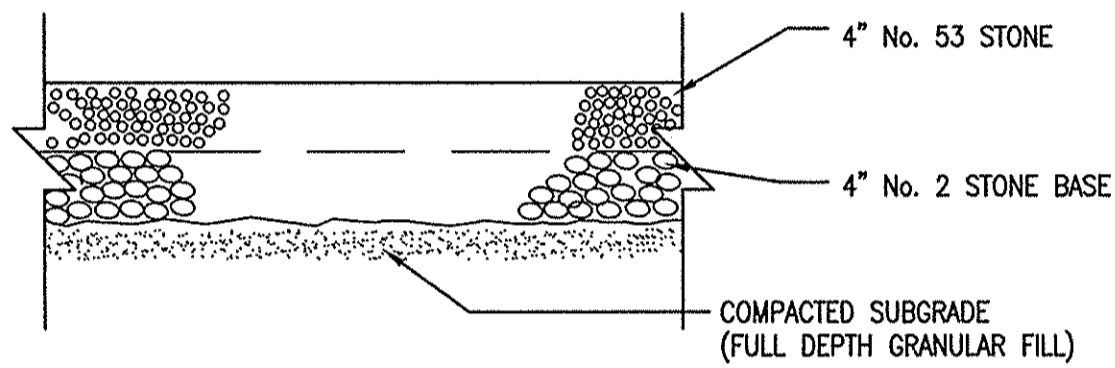
CONCRETE DRIVE REPAIR DETAIL

SCALE: N.T.S.



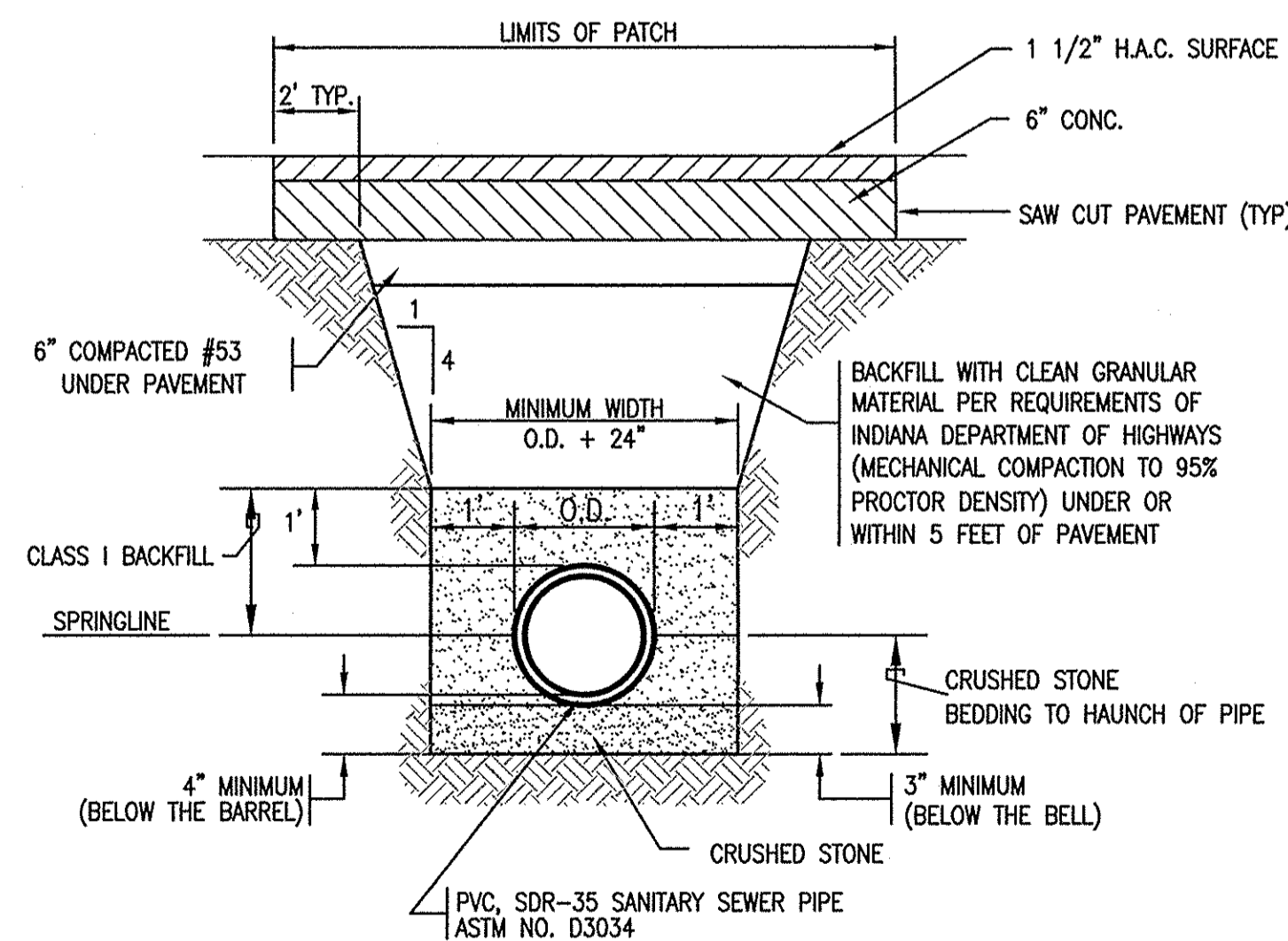
ASPHALT DRIVE REPAIR DETAIL

SCALE: N.T.S.



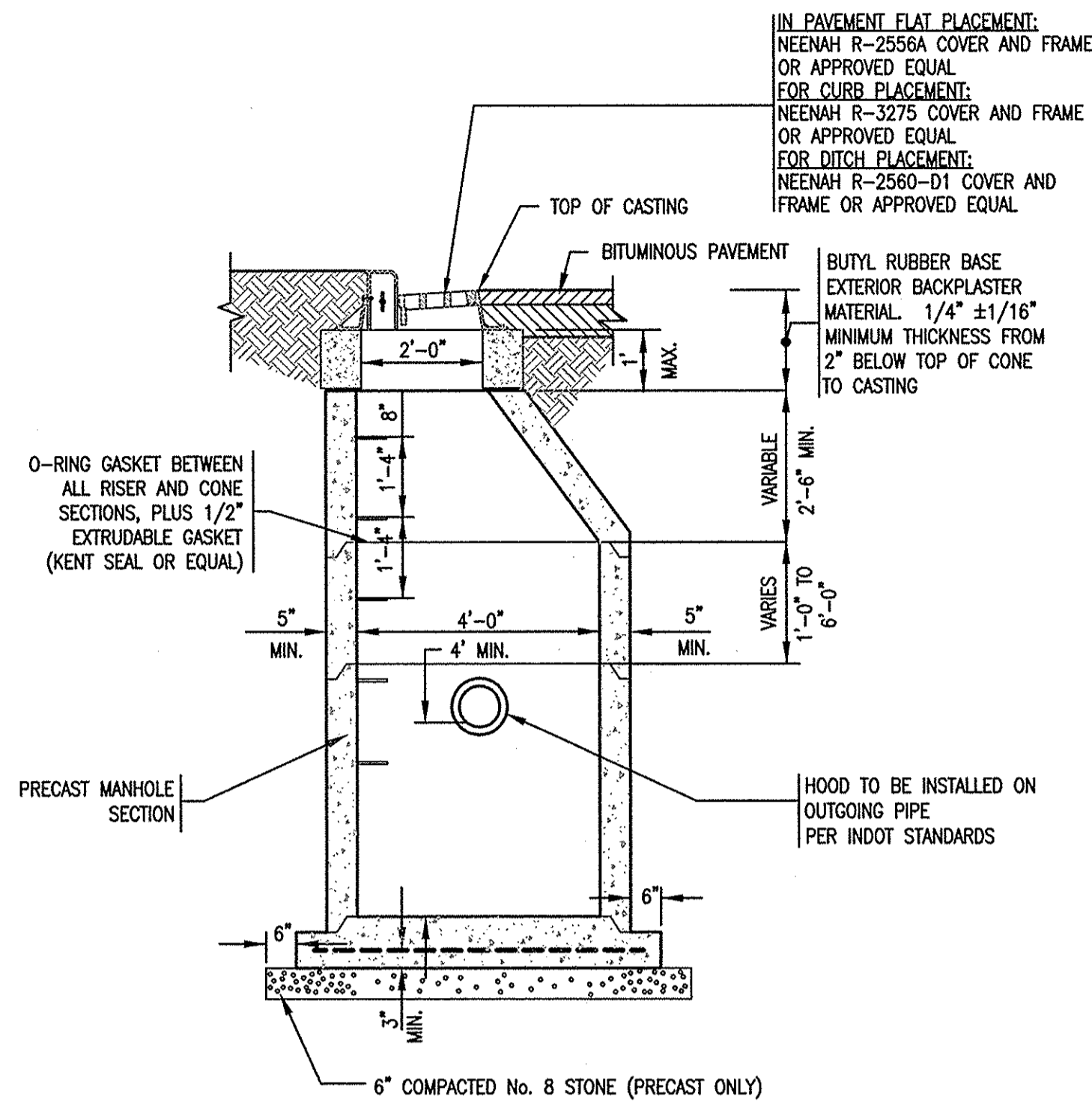
STONE DRIVE REPAIR DETAIL

SCALE: N.T.S.



TYPICAL TRENCH AND PAVEMENT PATCH DETAIL

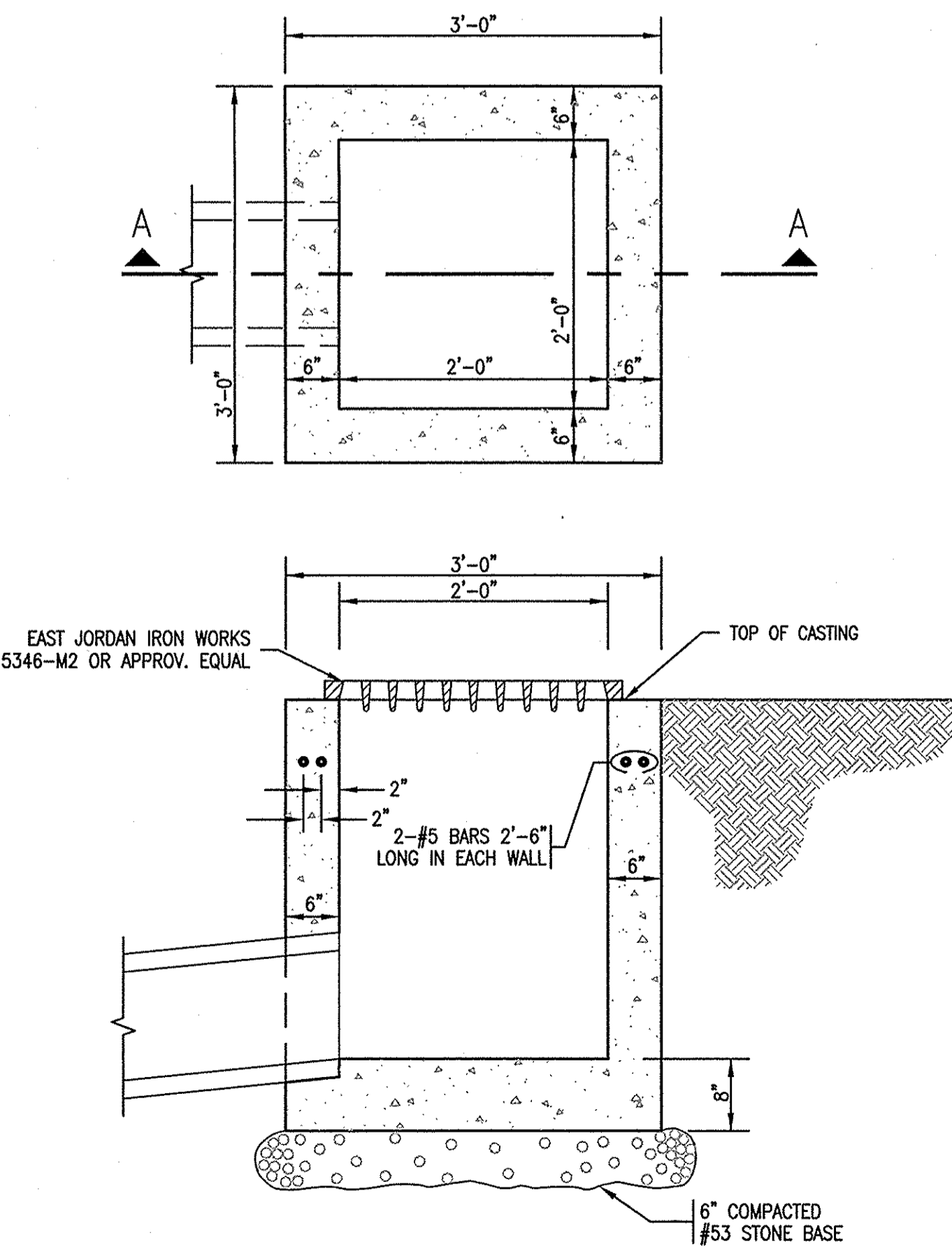
SCALE: N.T.S.



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1. MANHOLE STEPS SHALL BE POLYPROPYLENE, POLYPROPYLENE COATED STEEL REINFORCING OR APPROVED NON-CORROSIVE FIBERGLASS MATERIAL. COPOLYMER POLYPROPYLENE SHALL MEET ASTM D-4101 REINFORCED WITH DEFORMED 3/8" STEEL MEETING ASTM A-615, GRADE 60.
 2. MANHOLE CONFORMS TO ASTM C-478 JOINT CONFORMS TO ASTM C-443

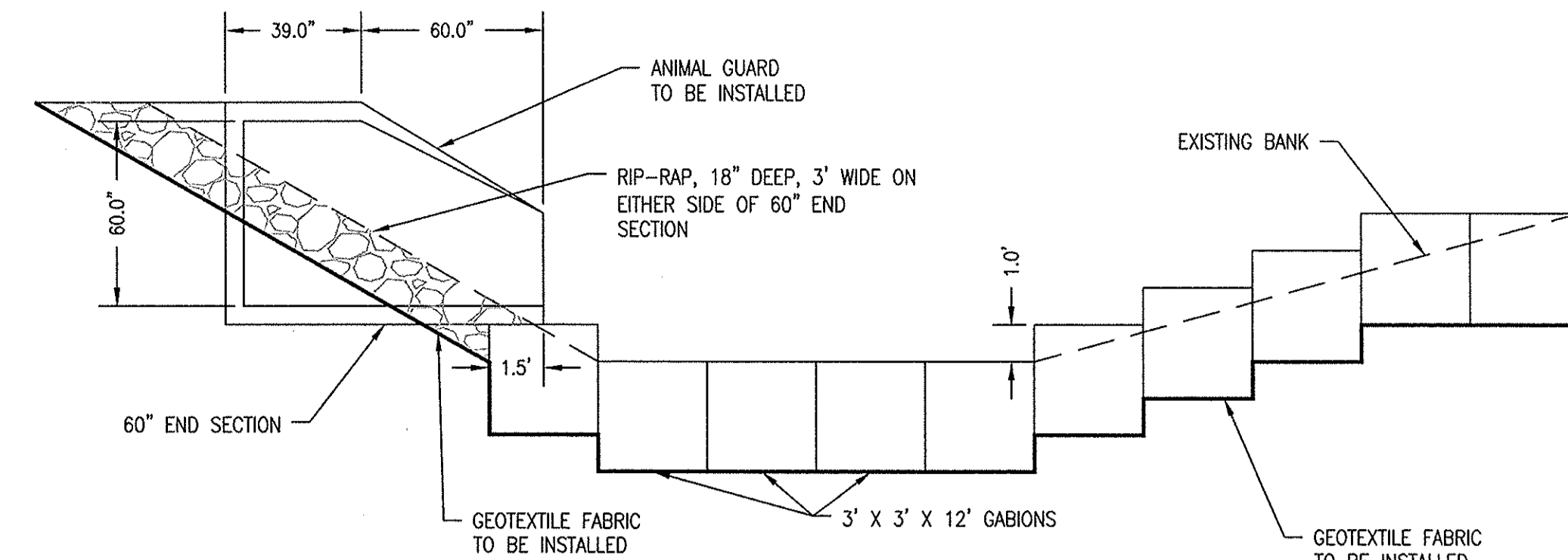
STORM CATCH BASIN DETAIL

SCALE: N.T.S.



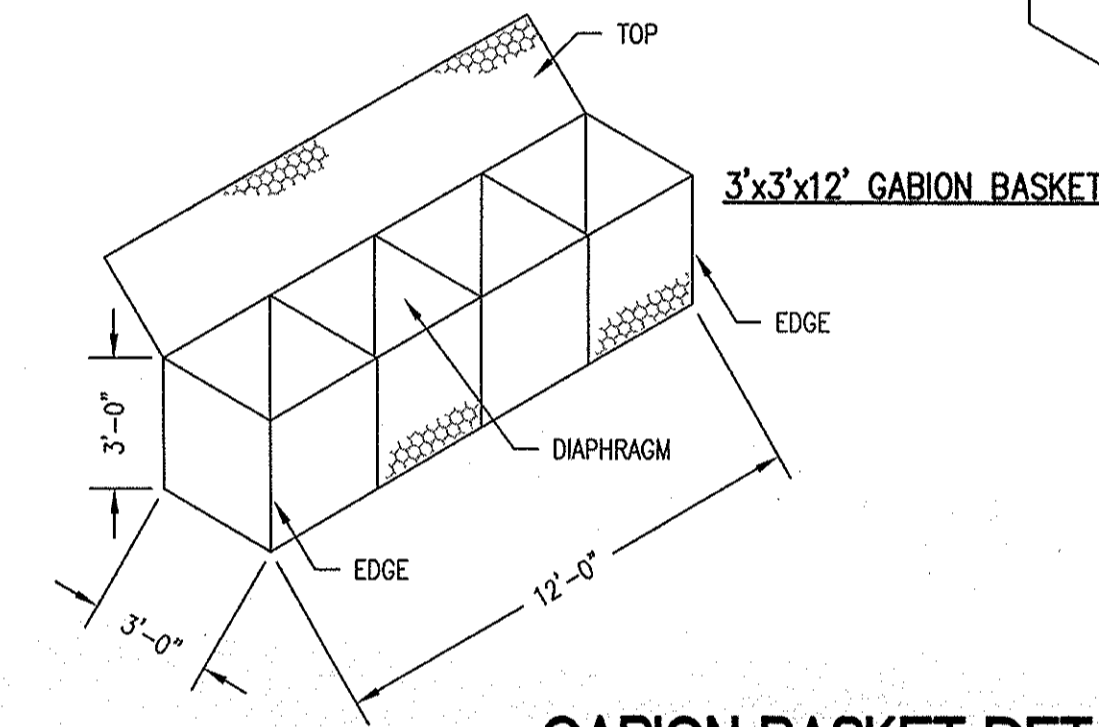
STORM INLET DETAIL

SCALE: N.T.S.



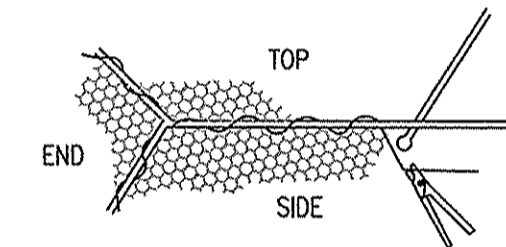
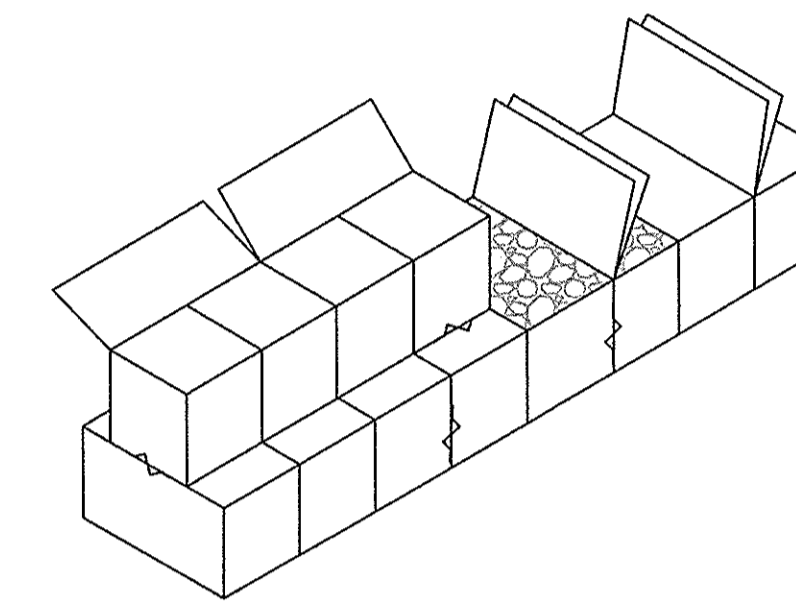
END SECTION/GABION PROFILE

SCALE: N.T.S.



GABION BASKET DETAILS

SCALE: N.T.S.



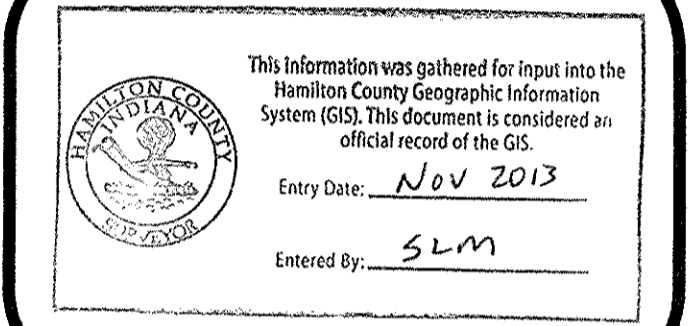
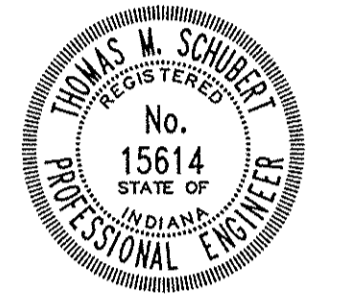
NOTE:
ALL GABIONS ARE TO BE CONSTRUCTED WITH PVC COATING.

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:



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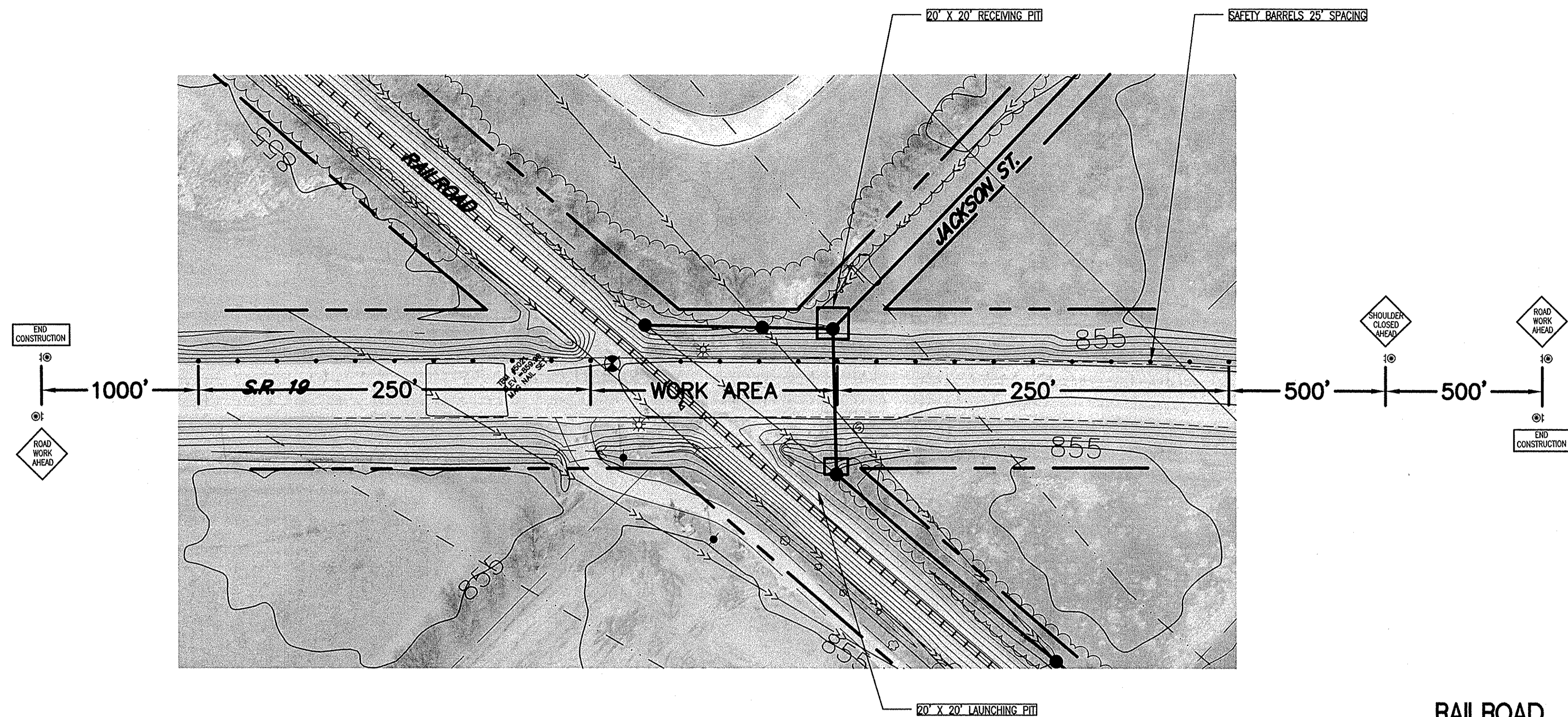
TRIAD ASSOCIATES INC.
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INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:
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THE HAMILTON COUNTY DRAINAGE BOARD
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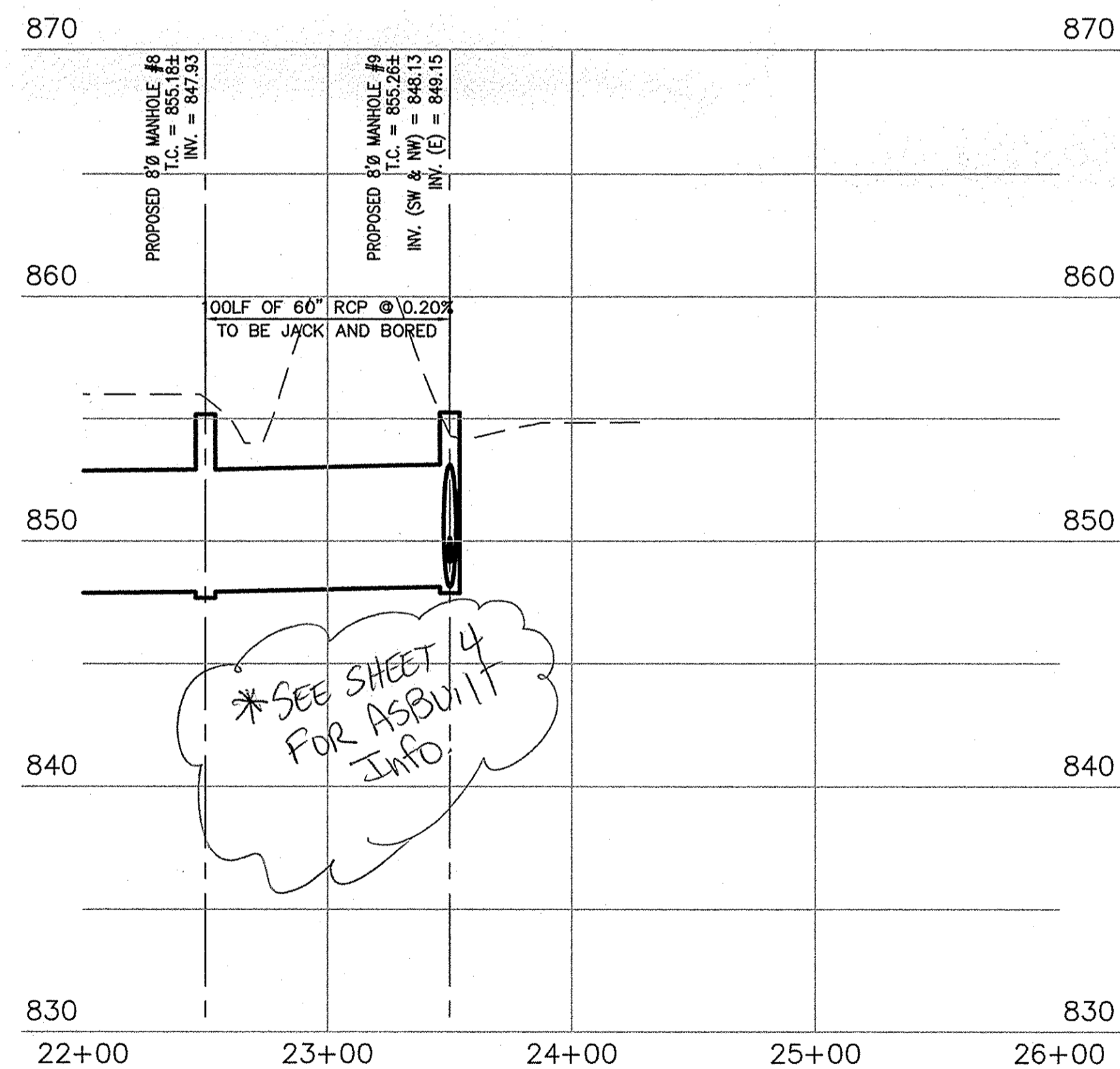
SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
MISCELLANEOUS DETAILS

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: AS NOTED	PLOT DATE: 03/09/2012
PLOT SCALE: 1=1	DATE: MARCH, 2012
DRAWN BY: DAP	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-SHEET 10-RD	

RECORD DRAWING
12-13-2012
J.E.C.



RAILROAD
SCALE: 1"=50'



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LEGEND:

	TREE		POWER POLE		EXISTING COMBINATION MANHOLE
	EXISTING FIRE HYDRANT		MISCELLANEOUS POSTS		EXISTING SANITARY MANHOLE
	PROPOSED FIRE HYDRANT		LIGHT POLE		EXISTING STORM MANHOLE
	MAILBOX		INLET		EXISTING TELEPHONE/FIBER OPTIC MANHOLE
	SIGN		ASPHALT SURFACE		EXISTING SANITARY SEWER
	SPOT SHOT		CONCRETE SURFACE		EXISTING STORM SEWER
	CONTOUR		STONE SURFACE		APPROX. PROPERTY LINE
	FENCE		PROPOSED STORM SEWER		PROPOSED UTILITY EASEMENT
	EXIST. COMBINATION SEWER w/ MANHOLE		EXISTING WATER LINE		EXISTING UTILITY EASEMENT
			EXISTING ROAD DRAIN		
			GAS LINE		
			UNDERGROUND TELEPHONE LINE		
			EXISTING FIBER OPTIC LINE		
			APPROX. RIGHT-OF-WAY		

RECORD DRAWING
12-13-2012
J.E.C.

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:

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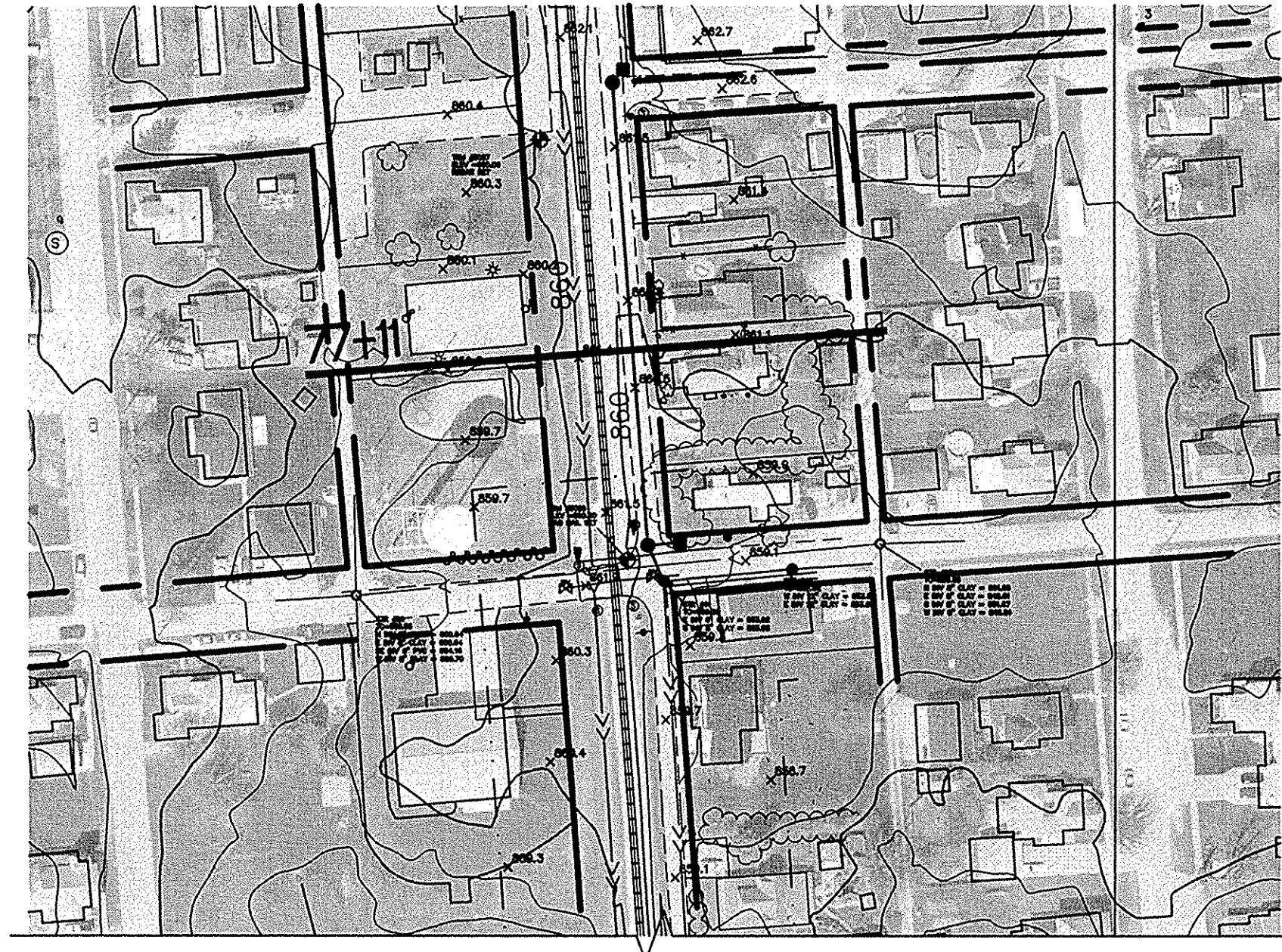
TRIAD ASSOCIATES INC.
5835 LAWTON LOOP EAST DRIVE
INDIANAPOLIS, INDIANA 46216
PHONE: 317-377-5230 FAX: 317-377-5241

DESIGNED FOR:
THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

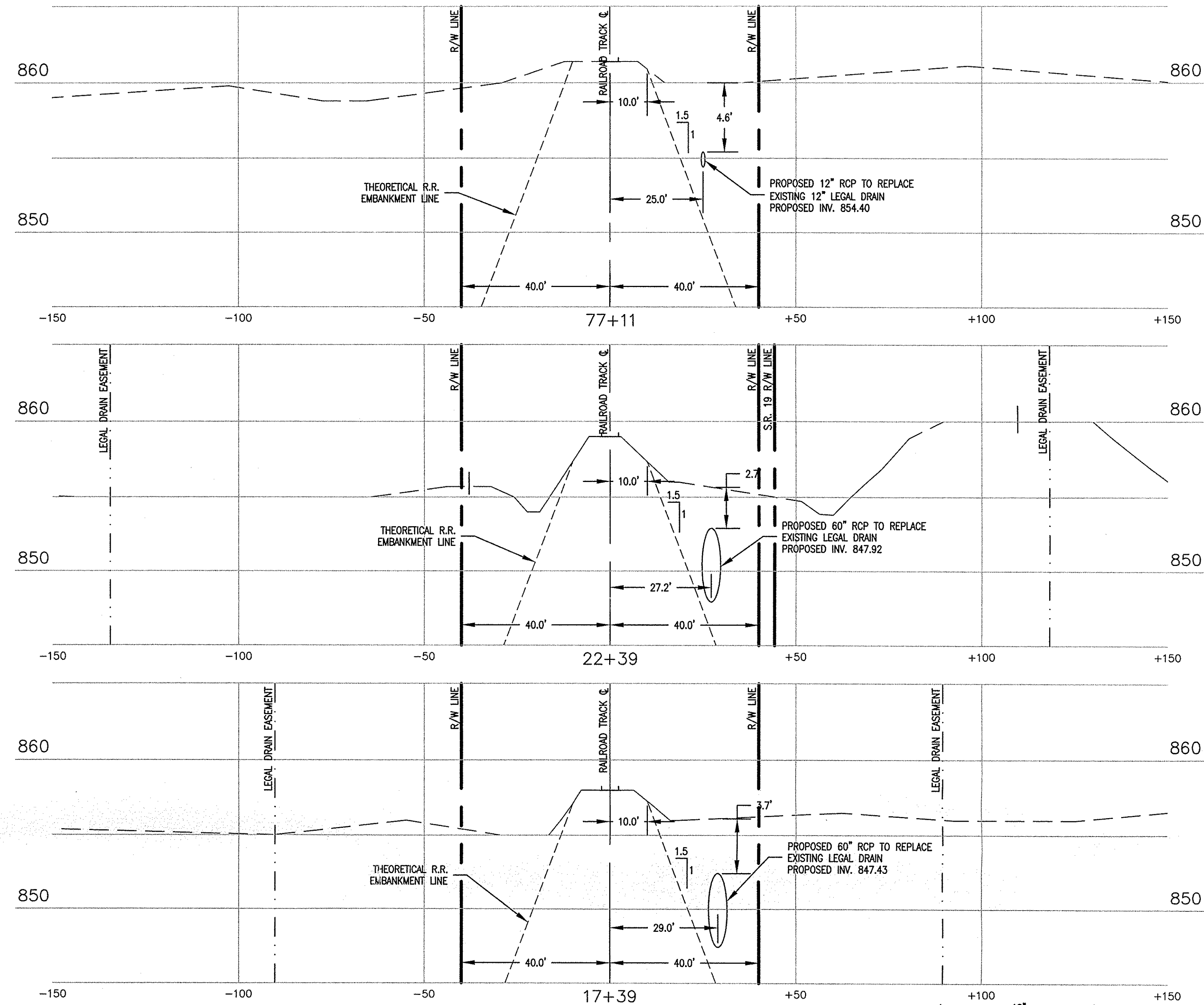
SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
S.R. 19 TRAFFIC CONTROL

JOB NUMBER:	CHECKED BY: RM
SCALE: 1"=50'	PLOT DATE: 1/18/2012
PLOT SCALE: 1=1	DATE: MARCH 2012
DRAWN BY: JEC	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEETS 6-7-8-11-12-FD	

SHEET No. **11**



RAILROAD CROSS-SECTION LOCATIONS
SCALE: 1"=100'



RAILROAD CROSS-SECTIONS

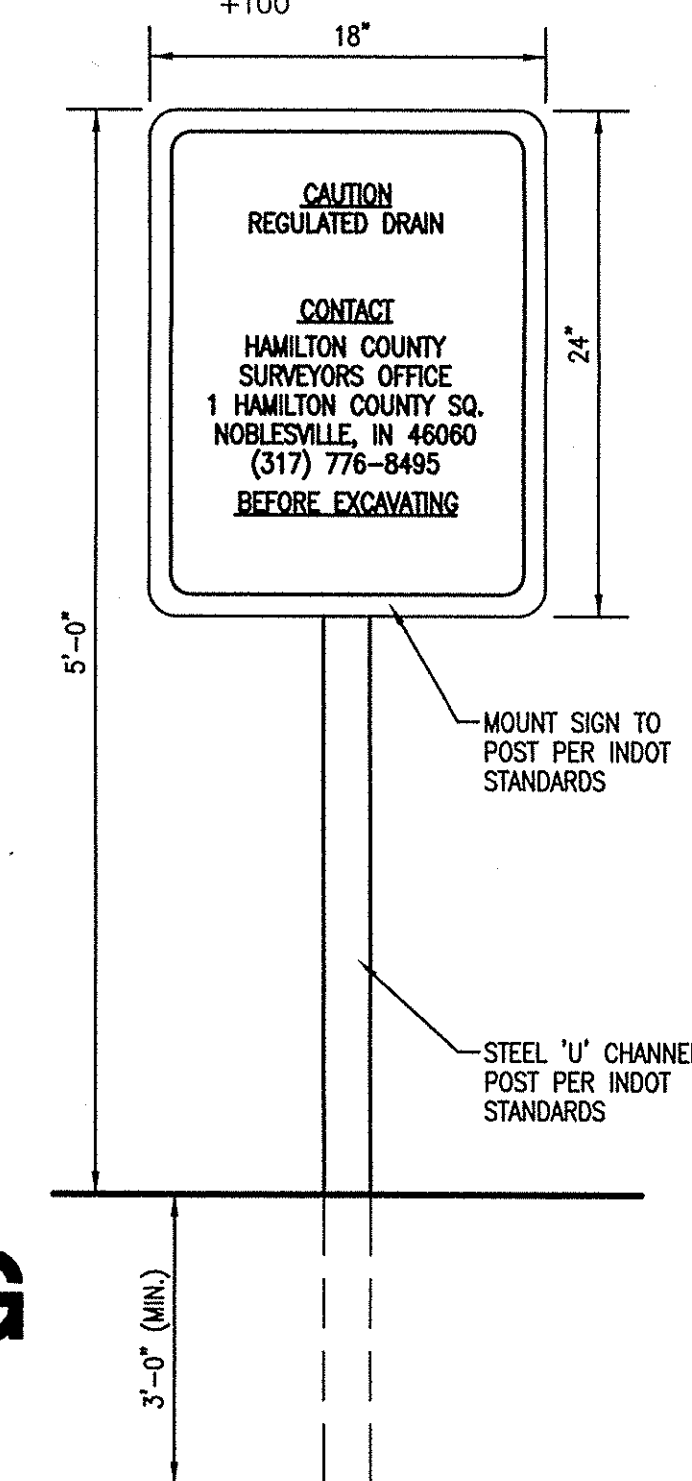
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

PIPE DATA SHEET		
	CASING PIPE	CARRIER PIPE
CONTENTS TO BE HANDLED	STORM WATER	N/A
NORMAL OPERATING PRESSURE	GRAVITY	
NOMINAL SIZE OF PIPE	60" / 12"	
OUTSIDE DIAMETER	72" / 18"	
INSIDE DIAMETER	60" / 12"	
WALL THICKNESS	6" / 3"	
WEIGHT PER FOOT	1340 LBS / 120 LBS	
MATERIAL	RCP	
PROCESS OF MANUFACTURE	PRE-CAST	
SPECIFICATION	ASTM C-150	
GRADE OR CLASS	CLASS III	
TEST PRESSURE	N/A	
TYPE OF JOINT	O-RING	
TYPE OF COATING	N/A	
DETAILS OF CATHODIC	N/A	
DETAILS OF SEALS OR PROTECTION AT ENDS OF CASING	N/A	
METHOD OF INSTALLATION	OPEN CUT	
CHARACTER OF SUBSURFACE MATERIAL AT THE CROSSING LOCATION	NO CROSSINGS	
APPROXIMATE GROUND WATER LEVEL	N/A	
SOURCE OF INFORMATION ON SUBSURFACE CONDITIONS (BORINGS, TEST PITS OR OTHER)	N/A	N/A

NOTE: Any soil investigation made on railroad property or adjacent to tracks shall be carried on under the supervision of Historic Railroad's Chief Engineer.

- HHPA RAILROAD NOTES:**
- CONSTRUCTION WITHIN THE HOOSIER HERITAGE PORT AUTHORITY RIGHT-OF-WAY SHALL BE IN CONFORMANCE WITH THE HHPA SPECIFICATIONS FOR PIPELINE OCCUPANCY.
 - ABANDONED STRUCTURES IN RAILROAD RIGHT-OF-WAY TO BE REMOVED TO A MINIMUM OF 2'-0" BELOW FINISHED GRADE & COMPLETELY FILLED WITH GROUT.
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 - BACKFILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PER HHPA REQMTS.

RECORD DRAWING
12-13-2012
J.E.C.



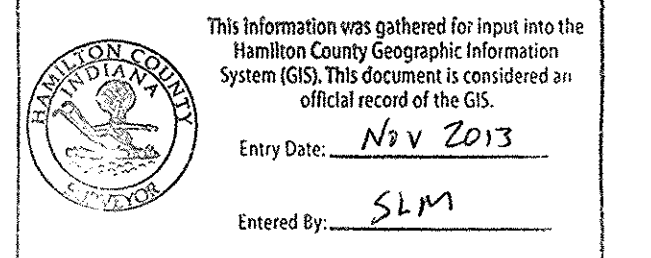
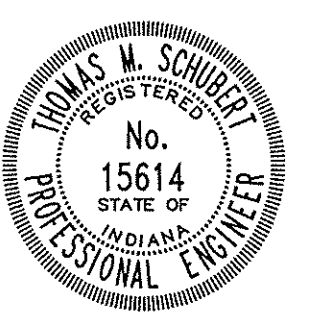
WARNING SIGN DETAIL
(IF EXISTING SIGNS CANNOT BE REUSED)
NOT TO SCALE

CONSULTANT:

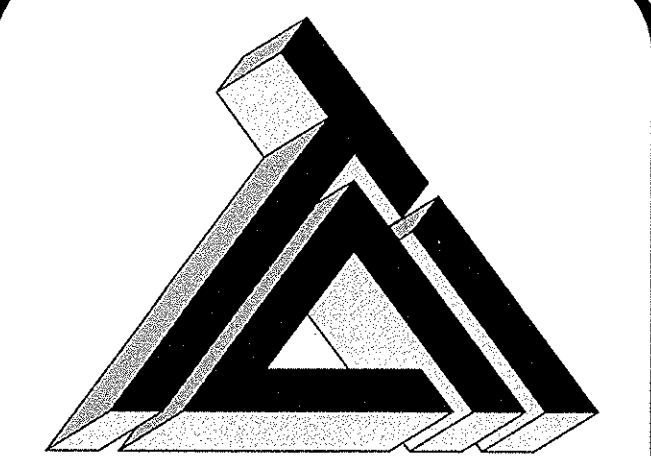
REVISIONS:

DATE	DESCRIPTION	BY
05/02/12	RAILROAD SHEET ADDED	BKF
05/14/12	MOVED PROPOSED MH#9	BKF

APPROVED BY:



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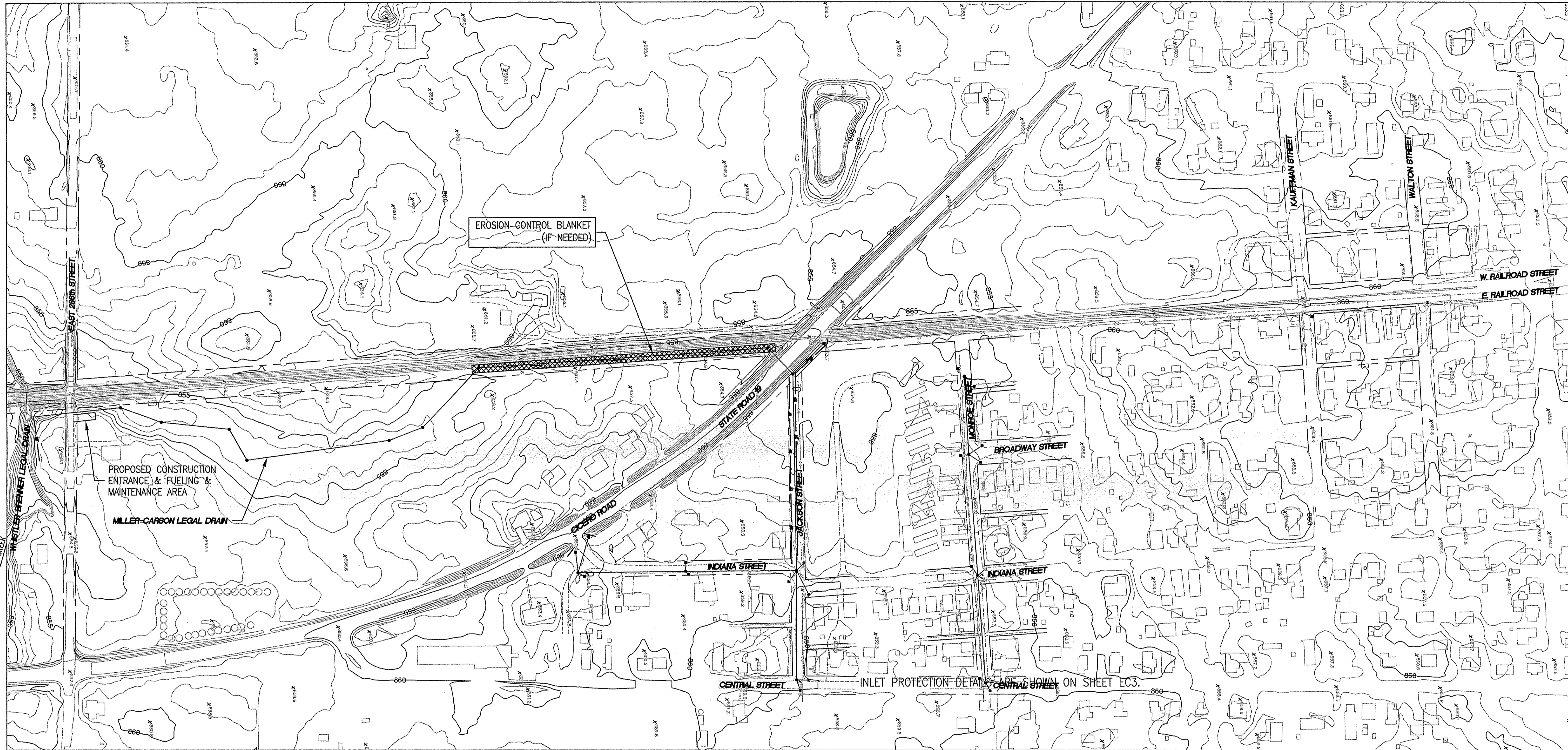
SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
HHPA RAILROAD INFORMATION

JOB NUMBER:
SCALE: 1" = 50'
PLOT SCALE: 1 = 1
DRAWN BY: BKF
DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-PLAN SHEETS 6-7-8-11-12-13

SHEET NO.

12

**FOR EROSION CONTROL
PURPOSES ONLY**



NOTE:
CONTRACTOR TO PROVIDE INLET PROTECTION FOR ALL INLETS AND CATCH BASINS IN PROJECT VICINITY AND ON ALL COMPLETED STRUCTURES UNTIL PROJECT COMPLETION. INLET PROTECTION DETAILS ARE SHOWN ON SHEET EC3.

TOWN OF ATLANTA, INDIANA
SCALE: 1" = 150'-0"



LEGEND:

	EROSION CONTROL BLANKET
	STORM DRAIN INLET PROTECTION
	SILT FENCE
	PROPOSED STORM MANHOLE
	PROPOSED STORM DRAIN INLET

RECORD DRAWING
12-13-2012
J.E.C.

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:

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Entry Date: 12/13/2012
Entered By: SLM

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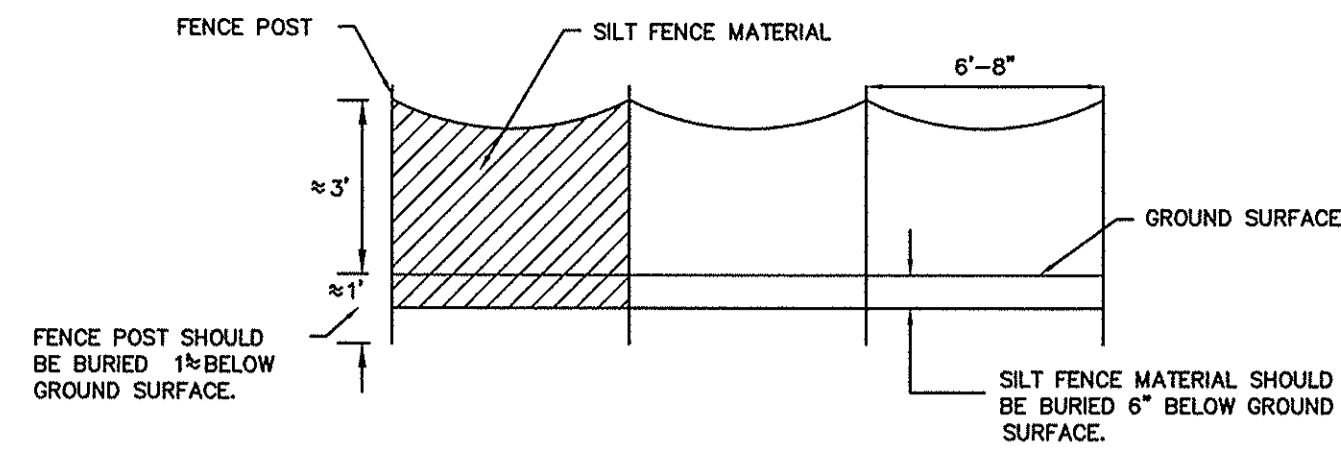
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DESIGNED FOR:
THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

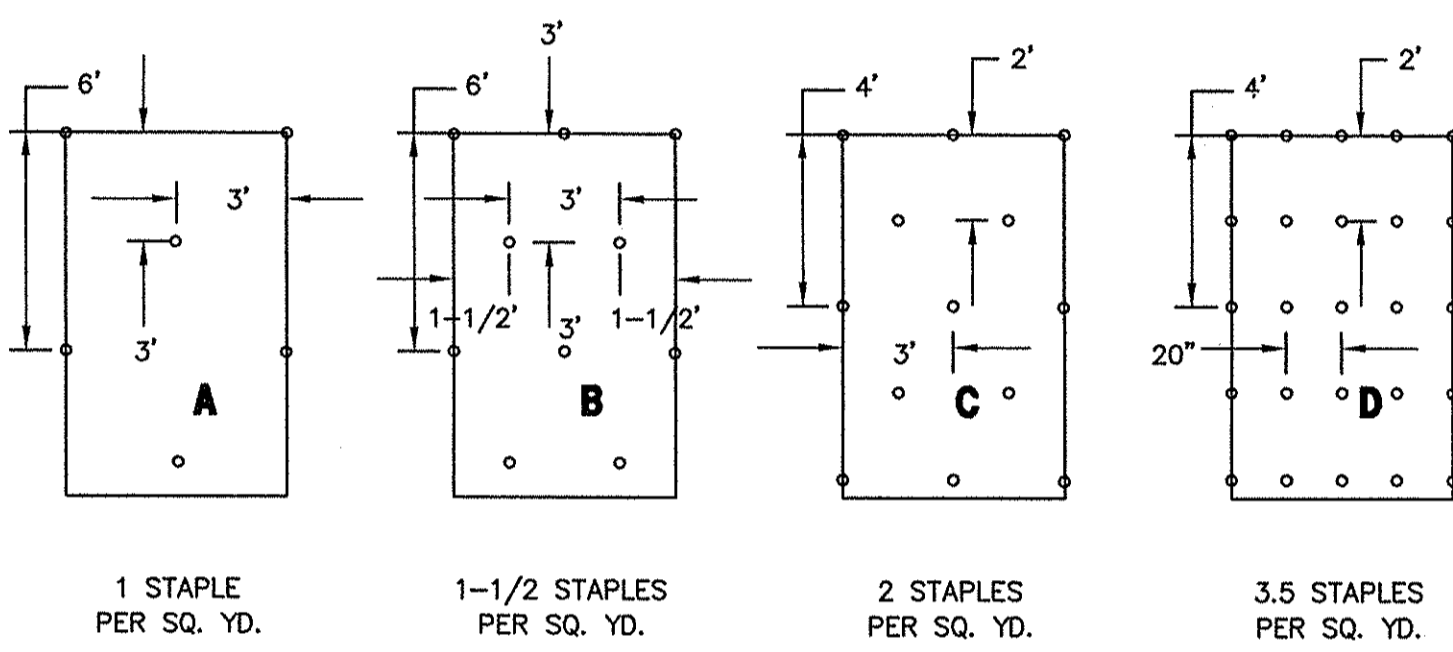
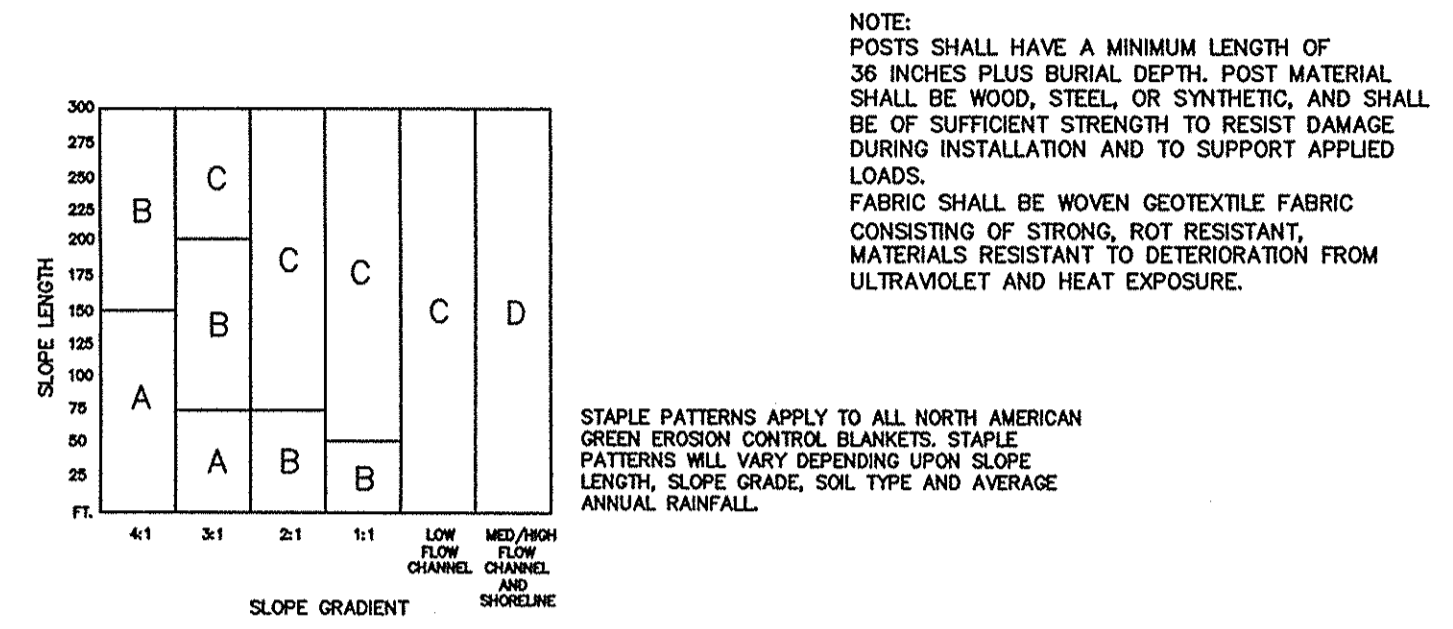
SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
INDEX SHEET

JOB NUMBER: 201205A	CHECKED BY: RM
SCALE: AS NOTED	PLOT DATE: 03/12/2012
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DRAWN BY: DAP	DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-EC 1-RD	

SHEET No.
EC1



SILT FENCE DETAIL
NOT TO SCALE



EROSION CONTROL BLANKET STAPLE PATTERN GUIDE
NOT TO SCALE

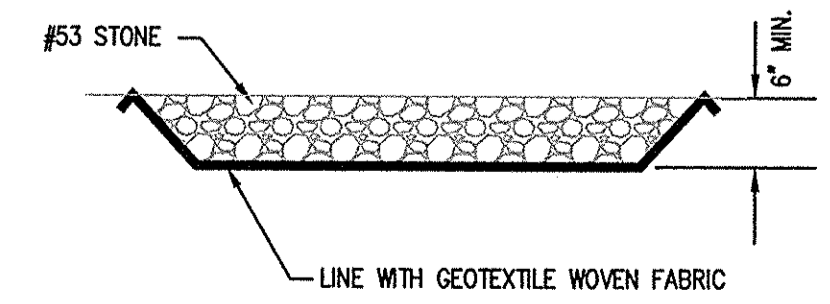
SEASONAL SOIL PROTECTION CHART

STABILIZATION PRACTICE	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING	A											
DORMANT SEEDING	B											
SEEDING	C											
SODDING	D											
MULCHING	E											

A = KENTUCKY BLUE GRASS 40 lbs./AC. CREEPING RED FESCUE 40 lbs./AC. PLUS 2 TONS STRAW MULCH/AC. OR ANNUAL RYEGRASS 20lbs./AC.
 B = KENTUCKY BLUE GRASS 60 lbs./AC. CREEPING RED FESCUE 60 lbs./AC. PLUS 2 TONS STRAW MULCH/AC. OR ADD ANNUAL RYEGRASS 30lbs./AC.
 C = SPRING OATS 3 BUSHEL/ACRE
 D = WHEAT OR RYE 2 BUSHEL/ACRE
 E = ANNUAL RYEGRASS 40 lbs./AC. (1 lb./1000 sq. ft.)
 F = SOD
 G = STRAW MULCH 2 TONS/ACRE
 *///** = IRRIGATION NEEDED DURING JUNE, JULY, AND/OR SEPT.
 ** = IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SEEDBED PREPARATION FOR PERMANENT SEEDING

- TEST SOIL TO DETERMINE pH AND NUTRIENT LEVELS. (CONTACT YOUR COUNTY SWCD OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE AND SOILS INFORMATION, INCLUDING AVAILABLE TESTING SERVICES).
- IF SOIL pH IS UNSUITABLE FOR THE SPECIES TO BE SEED, APPLY LIME ACCORDING TO TEST RECOMMENDATIONS.
- FERTILIZE AS RECOMMENDED BY THE SOIL TEST. IF TESTING WAS NOT DONE, CONSIDER APPLYING 400-600lbs/ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.
- TILL THE SOIL TO OBTAIN A UNIFORM SEEDBED, WORKING THE FERTILIZER AND LIME INTO THE SOIL 2-4 in. DEEP WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.



CONSTRUCTION ENTRANCE & FUELING & VEHICLE MAINTENANCE AREA
NOT TO SCALE

(A3) NARRATIVE

THE PROJECT CONSISTS OF PROPOSED STORM SEWER PIPING AND STRUCTURES TO REPLACE THE EXISTING STORM SYSTEM. A SECTION OF THE PIPING WILL BE REPLACING AN EXISTING LEGAL DRAIN. ALL WORK IS LOCATED IN PUBLIC RIGHT-OF-WAY EXCEPT FOR THE SECTION IN THE EXISTING COUNTY LEGAL DRAIN EASEMENT.

(A4) VICINITY MAP

THE VICINITY MAP SHOWING THE PROJECT LOCATION CAN BE SEEN ON SHEET EC3.

(A5) LEGAL DESCRIPTION

ON AND ALONG PUBLIC RIGHT-OF-WAY OF THE FOLLOWING LISTED STREETS:

JACKSON ST.,
MONROE ST.,
INDIANA ST.,
RAILROAD ST.

ALSO, ON AND ALONG LEGAL DRAINAGE EASEMENT OF THE FOLLOWING LISTED LEGAL DRAIN SYSTEM:

MILLER-CARSON,
WHISTLER-BRENNER

(A6) LOT LOCATION AND SITE IMPROVEMENTS

THE PROPERTY BOUNDARIES, UTILITY LOCATIONS, ROADS, STRUCTURES AND COMMON AREAS CAN BE SEEN ON SHEETS 3-8 FOR THIS PROJECT.

(A7) HYDROLOGIC UNIT CODE

HUC-14: #05120201080070

(A8) REQUIRED STATE OR FEDERAL WATER QUALITY PERMITS

THERE ARE NO REQUIRED STATE OR FEDERAL WATER QUALITY PERMITS FOR THE PROJECT SITE. NOTICE OF INTENT TO BE FILED WITH IDEM.

(A9) STORMWATER DISCHARGE POINTS

STORMWATER FROM THE SITE WILL BE COLLECTED BY THE EXISTING STORM SYSTEM. PART OF THE EXISTING SYSTEM IS BEING REPLACED & ENLARGED. THE WATER EVENTUALLY DRAINS TO CICERO CREEK.

(A10) SITE WETLANDS, LAKES AND WATER COURSES

THERE ARE NO WETLANDS, LAKES OR WATER COURSES WITHIN THE PROJECT BOUNDARIES. A NEW DISCHARGE WILL BE INSTALLED TO WHISTLER-BRENNER LEGAL DRAIN.

(A11) RECEIVING WATERS

STORMWATER THAT LEAVES THE SITE WILL DRAIN TO CICERO CREEK

(A12) POTENTIAL DISCHARGES TO GROUNDWATER

THERE ARE NO SINKHOLES ON THE PROJECT SITE. THERE ARE NO KNOWN WELLS ON THE SITE. THE SITE IS CURRENTLY TOWN STREETS & OPEN FIELD.

(A13) 100 YEAR FLOODPLAIN, FLOODWAYS AND FRINGES

THE PROJECT DOES NOT LIE IN A FLOOD ZONE. THE FLOOD MAP IS SHOWN ON EC3.

(A14) ESTIMATED PEAK DISCHARGE

THERE ARE NO EXPECTED CHANGES TO THE OUTFLOW.

(A15) ADJACENT LANDUSE

THE EXISTING LAND USES ADJACENT TO THE SITE ARE AS FOLLOWS:

NORTH: SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL
WEST: SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL
SOUTH: SINGLE-FAMILY RESIDENTIAL, COMMERCIAL, AND AGRICULTURAL
EAST: SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL

(A16) CONSTRUCTION LIMITS

THE OVERALL DISTURBED AREA IS 1.81± ACRES.

(A17) EXISTING VEGETATIVE COVER

THE EXISTING SITE IS CURRENTLY ROAD, GRASSED ROAD SHOULDER, & OPEN AGRICULTURAL FIELD.

(A18) SOILS MAP

A SOIL MAP FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, IS SHOWN ON SHEET EC3.

(A19) LOCATION OF STORMWATER SYSTEMS

LOCATIONS, SIZES, AND DIMENSIONS OF STORM WATER SYSTEM ARE SHOWN ON PLAN SHEETS 3-8.

(A20) OFF-SITE CONSTRUCTION PLAN

THERE IS NO OFF-SITE CONSTRUCTION PLANNED FOR THIS PROJECT.

(A21) SOIL STOCKPILE, BORROW AND/OR DISPOSAL

NO BORROW OR DISPOSAL AREAS ARE REQUIRED FOR THIS PROJECT.

(A22) EXISTING SITE TOPOGRAPHY

EXISTING CONTOUR LINES AND EXISTING SPOT ELEVATIONS ARE SHOWN ON PLAN SHEETS 3-8 & EROSION CONTROL PLAN SHEET EC1.

(A23) PROPOSED FINAL SITE TOPOGRAPHY

THERE ARE NO PROPOSED CHANGES TO THE EXISTING SITE TOPOGRAPHY.

(B1) POTENTIAL CONSTRUCTION POLLUTANTS

POTENTIAL POLLUTANTS DURING CONSTRUCTION INCLUDE: TRASH, FOSSIL FUELS, OIL, GREASE, DIESEL FUEL, GASOLINE, SEDIMENT, SOLVENTS, REPAIR PRODUCTS, AND FERTILIZER. EXPOSURE OF THESE POLLUTANTS TO STORM WATER RUNOFF SHOULD BE MINIMIZED BY PERFORMING ACTIVITIES SUCH AS EQUIPMENT STORAGE, REFUELING, MAINTENANCE AND PORT-A-LET PLACEMENT IN DESIGNATED AREAS.

(B2) STORMWATER QUALITY SEQUENCE

- CONTRACTOR SHALL NOTIFY IDEM 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF ATLANTA.
- INSTALL CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AS SHOWN ON PLANS.
- CONSTRUCT MAINTENANCE AND REFUELING AREA.

(B2) STORMWATER QUALITY SEQUENCE (CONT.)

- INSTALL STORM SEWERS AND STORMWATER INLETS.
- GRADE THE SITE. TEMPORARY SEEDING MUST TAKE PLACE WITHIN 5 DAYS OF CLEARING, EARTHMOVING, OR INACTIVITY. THE TEMPORARY SEEDING MUST BE ESTABLISHED WITHIN 14 DAYS. FOR TEMPORARY SEEDING, THE CONTRACTOR SHALL UTILIZE A FAST GROWING SEED OF EITHER OATS, ANNUAL RYEGRASS, WHEAT OR RYE DEPENDING ON THE TIME OF YEAR. DISTURBED AREAS SHOULD BE KEPT TO A MINIMUM AT ALL TIMES.
- INSTALL OTHER EROSION CONTROL MEASURES (E.G. INLET PROTECTION) TO COINCIDE WITH CONSTRUCTION.
- CONTRACTOR SHALL CONTROL MUD ACCUMULATION ON ALL STREETS SURROUNDING PROJECT BY INSTALLING STONE SURFACE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC LEAVES THE SITE. DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING, CALCIUM CHLORIDE, VEGETATIVE COVER, SPRAY ON ADHESIVES OR OTHER APPROVED METHODS.
- ADDITIONAL SEEDING AND EROSION CONTROL MAY BE REQUIRED DURING CONSTRUCTION AS SPECIFIED BY ENGINEER, TOWN OR SOIL CONSERVATION SERVICE.
- FINAL GRADE AND INSTALL PERMANENT SEEDING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ONCE ALL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CHECKED, MAINTAINED, AND REPLACED WHEN NEEDED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- FINAL SITE INSPECTION TO ASSURE THAT ALL REQUIREMENTS OF THE SWPPP, CONSTRUCTION PLANS, AND SUPPORTING DOCUMENTS HAVE BEEN FULFILLED.
- SUBMIT NOTICE OF TERMINATION TO THE HAMILTON COUNTY SURVEYORS OFFICE AND IDEM.

GENERAL NOTES:

- CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS AND TREE PROTECTION PRIOR TO THE START OF ANY EARTH MOVING OR SITEWORK.
- CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCES PRIOR TO THE START OF EARTH WORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
- LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION, WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
- PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
- THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL THE SITE HAS BEEN STABILIZED.
- ONCE ON-SITE EROSION AND SILTATION WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
- THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
- EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5 AND INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR, ENGINEER, TOWN OR SOIL CONSERVATION SERVICE.

(B3) CONSTRUCTION ENTRANCE INFORMATION

THERE WILL NOT BE A CONSTRUCTION ENTRANCE IN THE NORTH AREA SINCE THE PROJECT IS LINEAR. EXISTING STREETS WILL BE USED TO ACCESS CONSTRUCTION. THERE WILL BE ONE CONSTRUCTION ENTRANCE ON THE SOUTH WITH ACCESS VIA E. 238TH STREET.

(B4) SHEET FLOW SEDIMENT CONTROL

SILT FENCE, TEMPORARY SEEDING AND EROSION CONTROL MATTING IF NEEDED WILL BE USED AS EROSION CONTROL MEASURES FOR SHEET FLOWS. DETAILS ARE LOCATED ON THE EROSION CONTROL DETAIL SHEET EC2 & EC3.

(B5) CONCENTRATED FLOW SEDIMENT CONTROL

THE CONCENTRATED FLOW AREAS ARE THE ROADWAYS. SEDIMENT CONTROL MEASURES ARE PROVIDED FOR INLETS. ASSOCIATED DETAILS ARE SHOWN ON SHEET EC1, EC2, AND EC3.

(B6) INLET PROTECTION LOCATIONS AND SPECS

THE LOCATION, DETAILS, AND SPECIFICATIONS FOR INLET PROTECTION MEASURES ARE LOCATED ON THE EROSION CONTROL PLAN SHEET EC1 - EC3.

(B7) RUNOFF CONTROL MEASURES

SILT FENCING AND THE EXISTING STORM SYSTEM WILL BE USED TO CONTAIN AND CONTROL SEDIMENT. THE DETAILS AND SPECIFICATIONS ARE SHOWN ON SHEETS EC2 AND EC3.

(B8) OUTLET PROTECTION SPECIFICATIONS

END SECTIONS WILL BE RIP-RAPPED TO PREVENT SCOURING. STORMWATER WILL EVENTUALLY DISCHARGE INTO WHISTLER-BRENNER LEGAL DRAIN. THIS DRAIN EVENTUALLY DISCHARGES INTO CICERO CREEK THROUGH AN EXISTING STORMWATER COLLECTION SYSTEM.

(B9) GRADE STABILIZATION MEASURES

NO GRADE STABILIZATION STRUCTURES ARE NEEDED ON THE PROJECT SITE.

(B10) STORMWATER QUALITY DETAILS

STORMWATER QUALITY MEASURES AND DETAILS ARE SHOWN ON PLAN SHEET EC1 AND ON DETAIL SHEETS EC2 AND EC3.

(B11) TEMPORARY SURFACE STABILIZATION

TEMPORARY SEEDING AND EROSION CONTROL MATTING WILL BE USED AS TEMPORARY SURFACE STABILIZATION MEASURES IF NECESSARY. DETAILS AND SPECIFICATIONS ARE SHOWN ON SHEETS EC2 AND EC3. SEE SEASONAL SOIL PROTECTION CHART THIS SHEET.

(B12) PERMANENT SURFACE STABILIZATION

PERMANENT SEEDING AND EROSION CONTROL MATTING WILL BE USED AS PERMANENT SURFACE STABILIZATION MEASURES.

(B13) SPILL PREVENTION PLAN

MATERIALS SHOULD BE STORED IN A MANNER THAT PREVENTS OR MINIMIZES THE CHANCE THAT A SPILL WILL REACH SOILS, GROUNDWATER OR SURFACE WATER. ANY TOXIC OR HAZARDOUS MATERIALS STORED OUTSIDE SHOULD BE SECONDARILY CONTAINED. MATERIALS STORED INSIDE SHALL BE PLACED IN A MANNER TO PREVENT A SPILL FROM MIGRATING OUTSIDE THE CONFINES OF THE BUILDING OR INTO AN DRAIN LEAVING THE BUILDING AND DISCHARGING TO SOILS, GROUNDWATER OR SURFACE WATER. IF A SPILL DOES OCCUR, THEN THE SPILL MUST BE CONTAINED IMMEDIATELY UTILIZING APPROPRIATE RESPONSE TECHNIQUES INCLUDING DIKING AND ABSORBENTS. CLEAN UP OF THE SPILL SHOULD OCCUR AS SOON AS POSSIBLE ONCE THE SPILL IS STABILIZED AND CONTAINED. SPILLS SHALL BE CLEANED UP USING ACCEPTABLE METHODS SUCH AS, ABSORBENTS ON IMPERVIOUS SURFACES OR REMOVAL OF CONTAMINATED SOILS. IN ALL CASES CLEANUP STANDARDS MUST ADHERE TO LOCAL, STATE AND FEDERAL REQUIREMENTS. FAILURE TO CLEAN UP ANY SPILL IS A VIOLATION OF THE INDIANA STATE SPILL RULE (327 IAC 2-6.1), WHICH IS ENFORCED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM). CERTAIN SPILLS MUST BE REPORTED TO THE LOCAL RESPONSE AGENCY, LOCAL EMERGENCY PLANNING COMMITTEE, AND/OR IDEM. INITIAL CALLS SHOULD BE MADE TO THE 911 SYSTEM IF THE SPILL EXCEEDS REPORTABLE QUANTITIES OR IS A THREAT TO PUBLIC SAFETY. THE 911 SYSTEM WILL TYPICALLY NOTIFY THE FIRE DEPARTMENT. IDEM (1-888-233-7745) CAN TYPICALLY ASSIST WITH INFORMATION ON CLEAN UP OPERATIONS OR CLEAN UP CONTRACTORS.

ALL SPILLS THAT OCCUR NEAR AN INLET TO THE STORMWATER CONVEYANCE SYSTEM MUST HAVE "CURBING" IMPLEMENTED IMMEDIATELY. "CURBING" IS THE USE OF A BARRIER (ABSORBENT MATERIAL) WHICH PREVENTS THE SPILL FROM MAKING CONTACT WITH THE STORMWATER CONVEYANCE SYSTEM OR STORMWATER RUNOFF.

IN ORDER TO MINIMIZE THE RELEASE OF POTENTIAL POLLUTANTS DURING CONSTRUCTION THE CONTRACTOR SHALL IMPLEMENT THIS MATERIAL HANDLING AND SPILL PREVENTION PLAN. THE CONTRACTOR SHALL REVIEW THIS PLAN WITH ALL SUBCONTRACTORS AND REQUIRE THAT THEY IMPLEMENT THE PLAN AS WELL.

(B13) SPILL PREVENTION PLAN (CONT.)

- CONSTRUCTION EQUIPMENT
 - FUELING, LUBRICATION AND FLUIDS: ALL OPERATIONS INVOLVING THE ADDITION OF FLUIDS TO EQUIPMENT SHOULD BE DONE IN ONE LOCATION, SHOWN ON THE PLANS, SO THAT SPILLS ARE LIMITED TO ONE LOCATION ON THE SITE, WHICH WILL FACILITATE THE CLEANUP OF SPILLS. IF AN ON-SITE FUELING TANK IS PLANNED TO BE ON SITE, IT SHALL BE DOUBLE WALLED AND STORED IN THIS DESIGNATED AREA. THIS LOCATION IS AN AREA THAT WILL NOT ALLOW SPILLED FLUIDS TO MIGRATE INTO SUBSURFACE SOILS. IN THE EVENT OF A SPILL, THE FLUID SHALL IMMEDIATELY BE CLEANED UP BY REMOVING THE CONTAMINATED SOIL OR STONE WHICH SHALL BE DISPOSED OF IN AN ACCEPTABLE MANNER. SPILLS ON HARD SURFACES SHALL BE SOAKED UP BY AN ACCEPTABLE MATERIAL SUCH AS OIL DRY AND THE ABSORBENT MATERIAL DISPOSED OF IN A PROPER MANNER. THE SPILL SHALL ALSO BE REPORTED IMMEDIATELY TO THE CONTRACTOR'S SUPERINTENDENT.
 - EQUIPMENT REPAIR, ESPECIALLY WHEN FLUIDS MUST BE REMOVED FROM THE EQUIPMENT OR THE POSSIBILITY OF FLUID SPILLS IS HIGH, SHOULD ALWAYS BE DONE OFFSITE AT A FACILITY THAT IS MORE SUITABLE THAN A CONSTRUCTION SITE TO HANDLE SPILLS. WHEN EQUIPMENT MUST BE REPAIRED ON-SITE, IT SHOULD BE MOVED TO THE MAINTENANCE AND FUELING AREA IF POSSIBLE. OTHERWISE, SUITABLE ON SITE CONTAINERS SHOULD BE PLACED UNDER THE EQUIPMENT DURING REPAIR TO CATCH ANY SPILLED FLUIDS AND THESE SHOULD BE DISPOSED OF IN A PROPER MANNER.
 - ALL REUSABLE FLUID CONTAINERS, SUCH AS GASOLINE CANS, SHALL BE INSPECTED FOR LEAKS EACH TIME THEY ARE USED. IF LEAKS ARE FOUND, THE FLUID SHALL BE REMOVED FROM THE CONTAINER IN A PROPER MANNER AND THE CONTAINER DISPOSED OF IN AN ACCEPTABLE MANNER. EMPTY DISPOSABLE CONTAINERS, SUCH AS GREASE TUBES AND LUBRICATING OIL AND BRAKE FLUID CONTAINERS, AND THEIR PACKAGING, SHALL BE DISPOSED OF IN A PROPER MANNER AND SHALL NOT BE LEFT ON THE GROUND OR IN THE OPEN ON THE CONSTRUCTION SITE.
- CONSTRUCTION MATERIALS AND THEIR PACKAGING
 - EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION IN ORDER TO MINIMIZE SOIL EROSION. EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AS DESCRIBED ELSEWHERE IN THESE PLANS. EXCESSIVE DUSTING OF SOIL ON THE SITE SHALL BE MINIMIZED BY REDUCING CONSTRUCTION TRAFFIC ACROSS BARE SOIL DURING DRY AND/OR WINDY WEATHER, AND BY APPLYING WATER OR OTHER ACCEPTABLE DUST CONTROL MEASURES TO THE SOIL. UPON COMPLETION OF CONSTRUCTION AND SUITABLE ESTABLISHMENT OF PERMANENT VEGETATION, TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE, CHECK DAMS AND INLET PROTECTION DEVICES SHALL BE REMOVED IN A MANNER TO MINIMIZE ADDITIONAL LAND DISTURBANCE. ANY AREAS DISTURBED BY THESE OPERATIONS SHALL BE PROPERLY REVEGETATED.
 - LARGE WASTE MATERIALS CREATED BY CUTTING, SAWING, DRILLING, OR OTHER OPERATIONS SHALL BE PROPERLY DISPOSED OF IN SUITABLE WASTE CONTAINERS. THE SITE SHALL BE CHECKED AT THE END OF THE DAY, AT A MINIMUM, AND ALL WASTE MATERIALS, INCLUDING THOSE BLOWN ACROSS OR OFF THE SITE BY WIND, SHALL BE PICKED UP AND DISPOSED OF IN SUITABLE CONTAINERS. WHERE POSSIBLE, OPERATIONS SUCH AS SAWING THAT CREATE SMALL PARTICLES SHOULD BE PERFORMED IN ONE SPOT IN AN AREA PROTECTED FROM WIND, AND WASTE PARTICLES COLLECTED AND DISPOSED OF FREQUENTLY TO MINIMIZE WIND DISPERSAL. PACKAGING USED TO TRANSPORT MATERIALS TO THE SITE FOR CONSTRUCTION OF THE FACILITY SHALL BE DISPOSED OF PROPERLY, WHETHER THE MATERIAL IS TAKEN OUT OF ITS PACKAGING AND INCORPORATED INTO THE PROJECT IMMEDIATELY OR STORED ON-SITE FOR FUTURE USE. PACKAGED MATERIALS STORED ON-SITE SHALL BE INSPECTED REGULARLY AND ANY LOOSE PACKAGING SHALL BE REPAIRED OR DISPOSED OF PROPERLY.
 - ALL DEWATERING OF ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH GOOD EROSION CONTROL PRACTICES. THE USE OF DEWATERING DEVICES WILL REMOVE LARGE QUANTITIES OF SILT, SEDIMENT AND DIRT AND PREVENT THESE MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
 - IF THE USE OF LIME IS USED TO STABILIZE THE SOIL, ALL CONSTRUCTION EQUIPMENT USED SHALL BE CLEANED OF ALL EXCESS MATERIAL WITH WATER IN THE MAINTENANCE AND REFUELING AREA AS SHOWN IN THESE PLANS.
 - NUTRIENTS AND FERTILIZERS SHALL ONLY BE USED TO ESTABLISH RAPID VEGETATION. WHEN THESE PRODUCTS ARE UTILIZED, THE CONTRACTOR SHOULD STRICTLY ADHERE TO THE PRODUCTS RECOMMENDED USAGE.
- CONCRETE WASTE WATER
 - ALL CONCRETE WASTE WATER SHALL BE DISPOSED OF IN THE DESIGNATED AREA AS SHOWN ON SHEET EC1 AND DETAILED ON EC3. THIS AREA SHALL BE INSPECTED ON A DAILY BASIS AS A MINIMUM. WHEN THIS AREA BECOMES FULL, THE POLLUTANTS SHALL BE EXCAVATED, PLACED IN AN ACCEPTABLE CONTAINER AND DISPOSED OF IN A PROPER MANNER.
- PAINT PRODUCTS
 - ALL EXCESS PAINT AND THEIR RELATED PRODUCTS SHALL BE DISPOSED OF IN THE MANNER AS WHICH THE MANUFACTURER SUGGESTS. UNDER NO CIRCUMSTANCES WILL PAINT OR THE RELATED PRODUCTS BE CLEANED OR DISPOSED OF IN SOIL, SANITARY SEWERS, STORM SEWERS OR DETENTION BASINS. ANY VIOLATION OF THIS SHALL BE REPORTED TO THE JOB SUPERINTENDENT.
 - IN THE EVENT OF SPILLS THAT REQUIRE REMOVAL OF SOILS OR OTHER MATERIALS, PLEASE CONTACT THE CONSTRUCTION SUPERVISOR, TOWN, COUNTY SURVEYOR'S OFFICE AND THE LOCAL FIRE DEPARTMENT. IN THE EVENT OF SPILLS THAT HAVE POTENTIAL GROUNDWATER OR SURFACE WATER CONTAMINATION, PLEASE CONTACT THE CONSTRUCTION SUPERVISOR, TOWN, COUNTY SURVEYOR'S OFFICE, LOCAL FIRE DEPARTMENT AND IDEM.

(B14) MONITORING AND MAINTENANCE GUIDELINES

SEE SHEET EC3. SITE SHALL BE INSPECTED DAILY FOR STORMWATER POLLUTION, PREVENTION DEFICIENCIES AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.50 INCHES OR MORE.

(B15) SPECIFICATIONS FOR SPECIFIC LOTS

NOT APPLICABLE FOR THIS PROJECT.

STORMWATER POLLUTION PREVENTION PLAN - POST CONSTRUCTION COMPONENT

(C1) POTENTIAL LANDUSE POLLUTANTS

THE PROPOSED LAND USE IS ROAD, ROAD SHOULDER, & OPEN FIELD. POTENTIAL POLLUTANT SOURCES THAT MAY APPEAR AT THE SITE DUE TO PROPOSED LAND USE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO, FLUID AND DEBRIS FROM VEHICLES, OIL, GREASE, DIESEL FUEL, GASOLINE, ANTI-FREEZE, AUTO SOAP, FERTILIZER, TRASH FROM LITTERING AND OTHER TYPES OF IMPROPER DISPOSAL OR STORAGE.

(C2) STORMWATER QUALITY IMPLEMENTATION

THE EXISTING STORM SYSTEM WILL COLLECT RUNOFF FROM THE ROADS. INLETS WILL PREVENT LARGE ITEMS FROM ENTERING THE STORM PIPES AND LEAVING THE SITE.

(C3) STORMWATER QUALITY DESCRIPTION

THE EXISTING STORM SYSTEM WILL COLLECT RUNOFF FROM THE BUILDING AND PAVEMENT. INLETS WILL PREVENT LARGE ITEMS FROM ENTERING THE STORM PIPES AND LEAVING THE SITE.

(C4) STORMWATER QUALITY MEASURES

INLETS & GRASSED SWALES WILL FILTER SEDIMENT & DEBRIS BEFORE IT GETS TO AN OUTLET.

(C5) MAINTENANCE GUIDELINES

THE MAINTENANCE OF ANY PROPOSED POST-CONSTRUCTION WATER QUALITY MEASURES WILL BE PROVIDED BY THE TOWN OF ATLANTA. THE MAINTENANCE GUIDELINES CONSIST MOSTLY OF GOOD HOUSEKEEPING MEASURES. ANY GRASSED OR VEGETATED AREAS THAT EXPERIENCE EROSION FROM RAINFALL EVENTS SHOULD BE REPAIRED AND REVEGETATED AS SOON AS POSSIBLE. TRASH OR LITTER SHOULD BE PICKED UP AND PROPERLY DISPOSED TO PREVENT IT FROM GETTING INTO THE STORM DRAINAGE SYSTEM AND DOWNSTREAM WATERWAYS. EROSION OF THE LEGAL DRAIN BANKS SHOULD BE ADDRESSED AS SOON AS IT BECOMES VISIBLE BY FILLING THE ERODED AREA WITH SUITABLE SOIL AND ESTABLISHING VEGETATION IMMEDIATELY, PREFERABLY BY SODDING, OR BY SEEDING AND MULCHING AND MONITORING UNTIL SUITABLE VEGETATION IS ESTABLISHED. THE SAME MEASURE SHOULD BE USED FOR STEEP BANKS OF ANY EARTH BERM OR ANY OTHER STEEP AREA. PAVEMENT AREAS SHOULD ALSO BE MONITORED FOR POLLUTANTS. ANY LARGE QUANTITY OF FLUIDS SUCH AS OIL, ANTI-FREEZE, BRAKE FLUID, ETC. FOUND ON THE PAVEMENT SHOULD BE INVESTIGATED AND THE SOURCE DETERMINED, IF POSSIBLE, AND REMOVED FROM THE SITE FOR MAINTENANCE OR REPAIR. PAVEMENTS SHOULD ALSO BE MONITORED FOR SEDIMENT COMING FROM VEGETATED AREAS THAT DRAIN ON THE PAVEMENT. IF SEDIMENT IS FOUND IT SHOULD BE CLEANED OFF THE PAVEMENT, AND THE SOURCE OF THE SOIL FOUND AND REPAIRED AS DISCUSSED ABOVE.

CONSULTANT:

REVISIONS:

DATE	DESCRIPTION	BY

APPROVED BY:

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DESIGNED FOR:

THE TOWN OF ATLANTA
WITH THE HAMILTON COUNTY DRAINAGE BOARD
HAMILTON COUNTY, INDIANA

SHEET TITLE:
PROPOSED STORM WATER IMPROVEMENTS
EROSION CONTROL DETAILS

JOB NUMBER: 201205A
SCALE: AS NOTED
PLOT SCALE: 1 = 1
DRAWN BY: BKF
DESIGNED BY: Thomas M. Schubert, P.E.
DRAWING NAME: 201205A-EC 2-3-RD

SHEET No.

EC2

RECORD DRAWING
12-13-2012
J.E.C.

(B14) MONITORING AND MAINTENANCE GUIDELINES

EROSION CONTROL SCHEDULE		
EROSION CONTROL MEASURE	MAINTENANCE	INSTALLATION SEQUENCE
STONE ENTRANCE	AS NEEDED	PRIOR TO CLEARING AND GRADING
SILT FENCE	WEEKLY, AFTER STORM EVENT AND AS NEEDED	PRIOR TO CLEARING AND GRADING
INLET PROTECTION	WEEKLY, AFTER STORM EVENT AND AS NEEDED	AFTER EACH INLET IS PLACED
TEMPORARY SEEDING	WATER AS NEEDED	AFTER ROUGH GRADING IF PERMANENT SEEDING CANNOT BE PLACED
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
EROSION CONTROL MATTING	WEEKLY, AFTER STORM EVENT AND AS NEEDED	AFTER FINISH GRADING
SEED, SO2 & LANDSCAPE	WATER AS NEEDED	AFTER FINISH GRADING AROUND FINISHED UNITS
REMOVAL OF SILT FENCE	N/A	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABILIZED
REMOVAL OF INLET PROTECTION	N/A	AFTER ALL AREAS DRAINING TO THEM ARE STABILIZED

EROSION CONTROL MEASURES MAINTENANCE REQUIREMENTS

SILT FENCE MAINTENANCE REQUIREMENTS

1. INSPECT SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT.
2. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
3. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE.
4. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEAN OUT.
5. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE, AND STABILIZE.

EROSION CONTROL MATTING (SURFACE APPLIED) MAINTENANCE REQUIREMENTS

1. DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER EACH STORM EVENT FOR ANY EROSION BELOW THE BLANKET.
2. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, ADD SOIL, RE-SEED THE AREA, AND RE-LAY AND STAPLE THE BLANKET.
3. AFTER VEGETATIVE ESTABLISHMENT, CHECK THE TREATED AREA PERIODICALLY.

TEMPORARY SEEDING MAINTENANCE REQUIREMENTS

1. INSPECT PERIODICALLY AFTER PLANTING TO SEE THAT VEGETATIVE STANDS ARE ADEQUATELY ESTABLISHED; RE-SEED IF NECESSARY.
2. CHECK FOR EROSION DAMAGE AFTER STORM EVENTS AND REPAIR; RE-SEED AND MULCH IF NECESSARY.
3. TOPDRESS FALL SEEDING WHEAT OR RYE SEEDINGS WITH 50 LBS./ACRE OF NITROGEN IN FEBRUARY OR MARCH IF NITROGEN DEFICIENCY IS APPARENT.

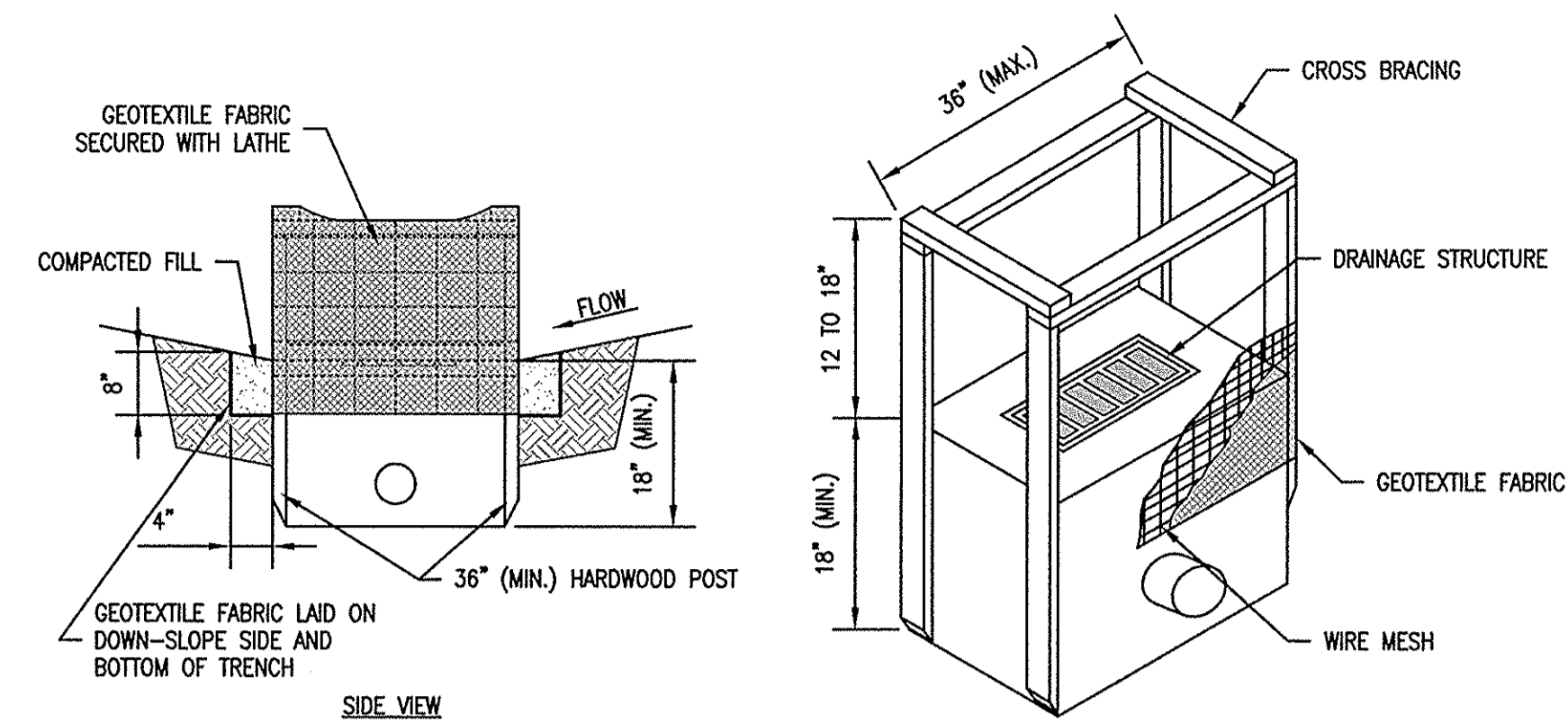
TEMPORARY SEEDING MUST TAKE PLACE WITHIN 5 DAYS OF CLEARING, EARTHMOVING, OR INACTIVITY. THE TEMPORARY SEEDING MUST BE ESTABLISHED WITHIN 14 DAYS.

PERMANENT SEEDING MAINTENANCE REQUIREMENTS

1. INSPECT PERIODICALLY, ESPECIALLY AFTER STORM EVENTS, UNTIL THE STAND IS SUCCESSFULLY ESTABLISHED. (CHARACTERISTICS OF A SUCCESSFUL STAND INCLUDE: VIGOROUS DARK GREEN OR BLuish-GREEN SEEDLINGS; UNIFORM DENSITY WITH NURSE PLANTS, LEGUMES, AND GRASSES WELL INTERMIXED; GREEN LEAVES; AND THE PERENNIALS REMAINING GREEN THROUGHOUT THE SUMMER, AT LEAST AT THE PLANT BASE.)
2. PLAN TO ADD FERTILIZER THE FOLLOWING SEASON ACCORDING TO SOIL TEST RECOMMENDATIONS.
3. REPAIR DAMAGED, BARE, SPARSE OR PATCHY AREAS, BY FILLING ANY GULLIES, RE-FERTILIZING OVER, OR RE-SEEDING AND MULCHING AFTER RE-PREPARING THE SEEDBED.
4. IF VEGETATION FAILS TO GROW, CONSIDER SOIL TESTING TO DETERMINE ACIDITY OR NUTRIENT DEFICIENCY PROBLEMS. (CONTACT YOUR SWCD OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE.)
5. IF ADDITIONAL FERTILIZATION IS NEEDED TO GET A SATISFACTORY STAND, DO SO ACCORDING TO SOIL TEST RECOMMENDATIONS.

INLET PROTECTION

1. INSPECT FREQUENTLY FOR DAMAGE & REPAIR AS NEEDED. INSPECT AFTER EACH STORM EVENT.
2. REMOVE SEDIMENT (NOT BY FLUSHING) WHEN IT REACHES HALF THE HEIGHT OF THE BASIN.
3. DEPOSIT REMOVED SEDIMENT WHERE IT WILL NOT ENTER STORM DRAINS.



NOTES:

1. ALL STORM STRUCTURES SHALL BE PROTECTED BY DROP INLET PROTECTION, UNTIL PAVEMENT HAS BEEN INSTALLED OR UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
2. CONTRACTOR SHALL INSPECT THE DROP INLET PROTECTION PERIODICALLY AND MAINTAIN OR REPLACE THE STRUCTURE AS NECESSARY.
3. ALL OTHER SOIL EROSION CONTROL DEVICES AND MEASURES DEEMED NECESSARY BY THE TOWN SHALL BE IMPLEMENTED IMMEDIATELY UPON NOTIFICATION TO THE CONTRACTOR.

**STORM DRAIN INLET TEMPORARY PROTECTION DETAIL
GEOTEXTILE FABRIC DROP**
NOT TO SCALE

SPECIFICATIONS

MATERIALS:
GEOTEXTILE FABRIC

SUPPORT POSTS
2 x 2 INCH OR 2 x 4 INCH HARDWOOD POSTS.
THREE FEET LENGTH, MINIMUM.

WIRE MESH
6" MAXIMUM OPENING

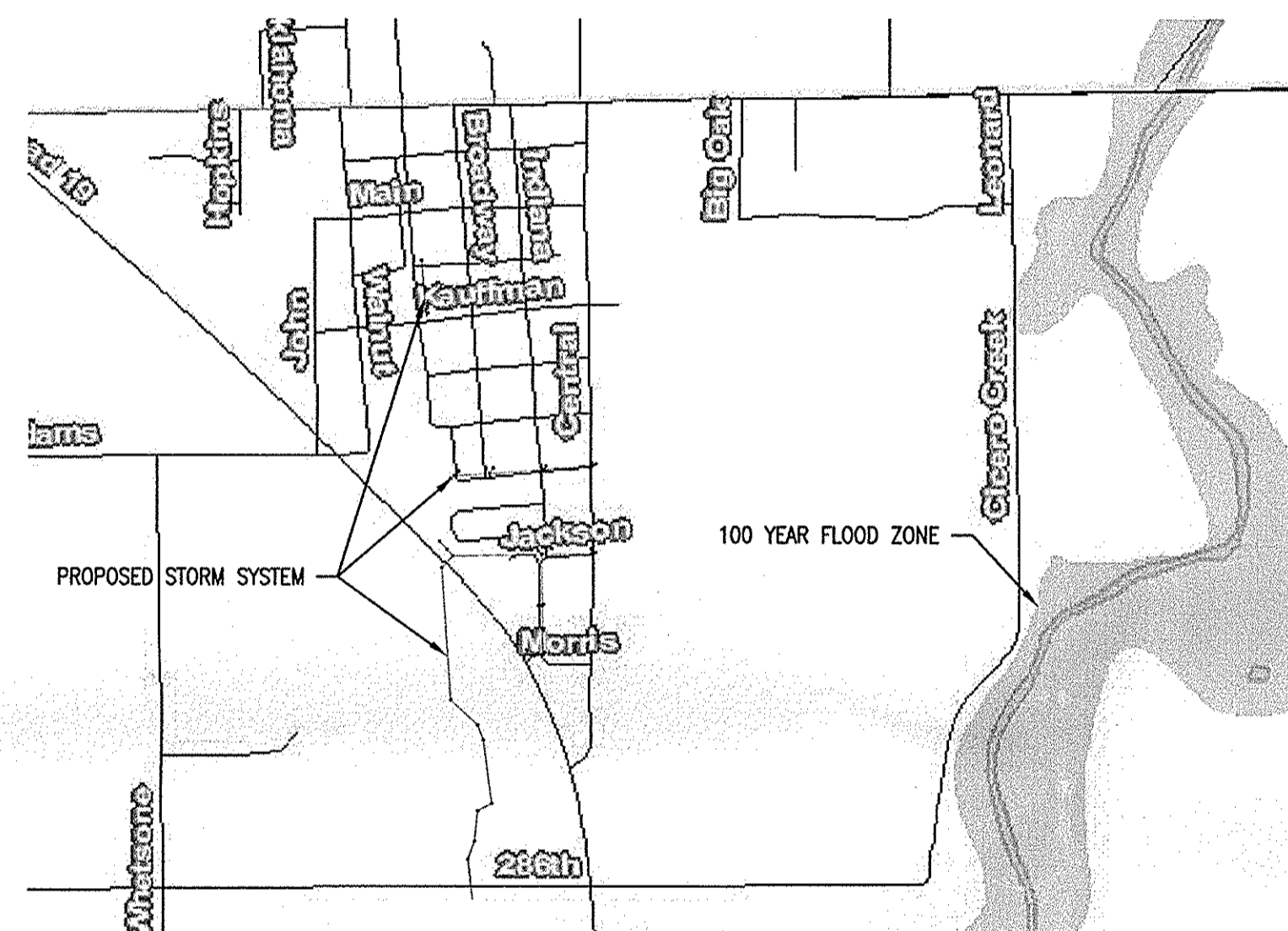
CROSS BRACING
1 x 2 INCH OR 1 x 3 INCH HARDWOOD CROSS BRACING LUMBER.

INSTALLATION:

1. DIG AN EIGHT-INCH DEEP, FOUR-INCH WIDE TRENCH AROUND THE PERIMETER OF THE INLET.
 2. IF USING PRE-ASSEMBLED GEOTEXTILE FABRIC AND POSTS, DRIVE THE POSTS INTO THE SOIL, TIGHTLY STRETCHING THE GEOTEXTILE FABRIC BETWEEN POSTS AS EACH IS DRIVEN. (POSTS MUST BE PLACED ON THE INLET SIDE OF THE ANCHOR TRENCH WITH THE GEOTEXTILE FABRIC ON THE SIDE OF THE TRENCH FARTHEST FROM THE INLET.)
- NOTE:**
IF ASSEMBLING THE GEOTEXTILE FABRIC AND POSTS ON-SITE, DRIVE THE POSTS INTO THE SOIL AND THEN SECURE THE GEOTEXTILE FABRIC TO THE POSTS BY PLACING A PIECE OF LATHE OVER THE FABRIC AND FASTENING IT TO THE POST (STRETCHING THE FABRIC BETWEEN POSTS AS IT IS FASTENED).
3. PLACE THE BOTTOM 12 INCHES OF GEOTEXTILE FABRIC INTO THE EIGHT-INCH DEEP TRENCH, LAYING THE REMAINING FOUR INCHES IN THE BOTTOM OF THE TRENCH AND EXTENDING AWAY FROM THE INLET.
 4. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.
 5. BRACE THE POSTS BY NAILING BRACES INTO EACH CORNER POST OR UTILIZE RIGID PANELS TO SUPPORT FABRIC.

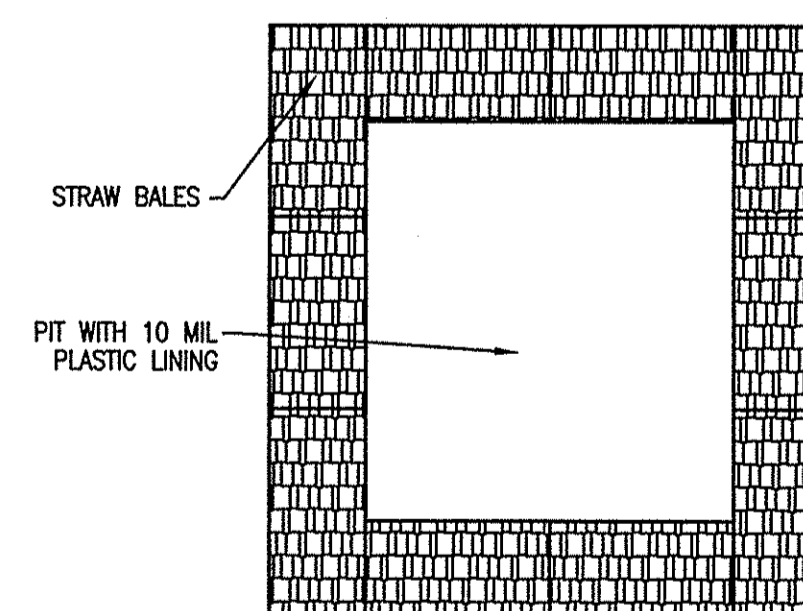
MAINTENANCE:

1. INSPECT DAILY.
2. INSPECT GEOTEXTILE FABRIC AND MAKE NEEDED REPAIRS IMMEDIATELY.
3. REMOVE SEDIMENT FROM POOL AREA TO PROVIDE STORAGE FOR THE NEXT STORM EVENT. AVOID DAMAGING OR UNDERCUTTING FABRIC DURING SEDIMENT REMOVAL.

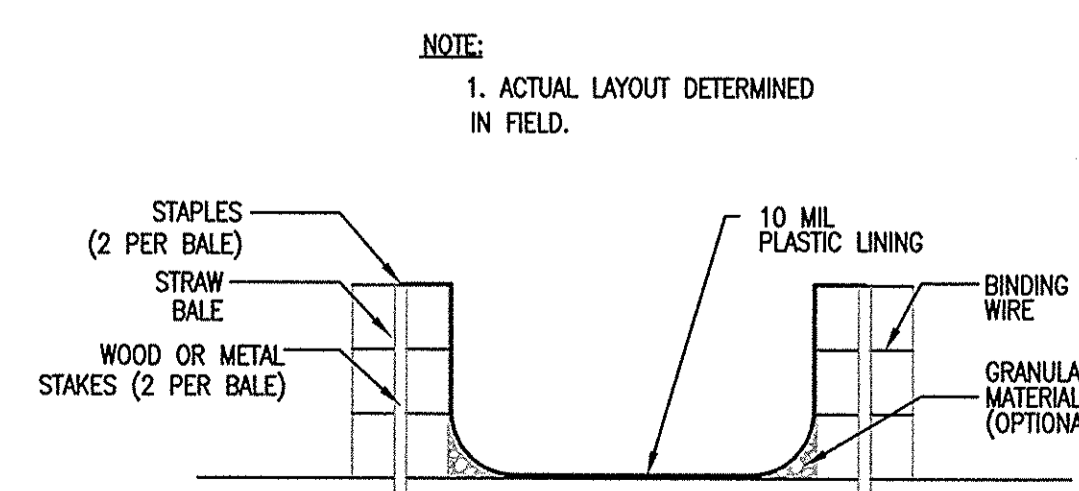


(A13) 100 YEAR FLOOD PLAIN, FLOODWAYS AND FRINGES
NOT TO SCALE

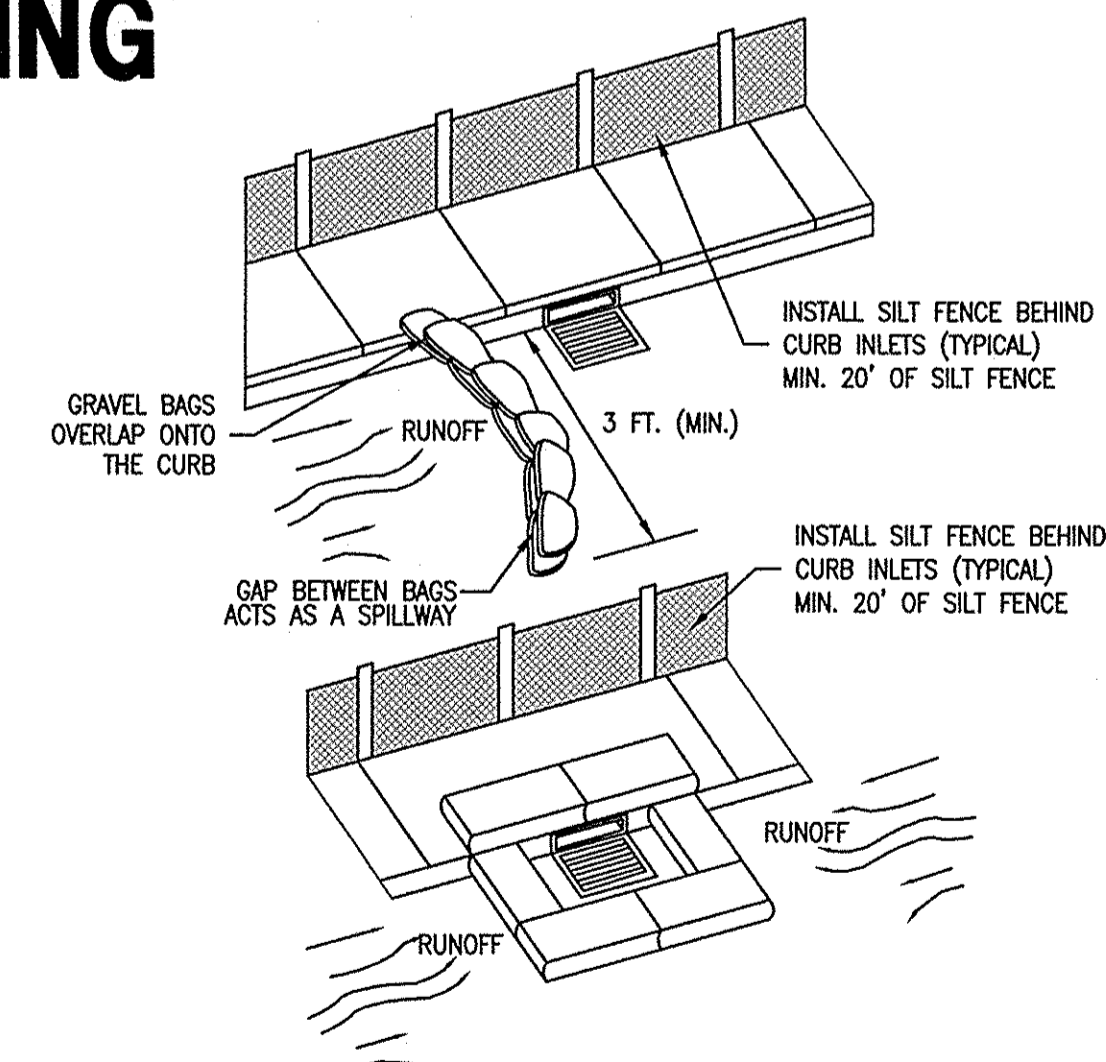
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CONCRETE WASHOUT PIT DETAIL
NOT TO SCALE

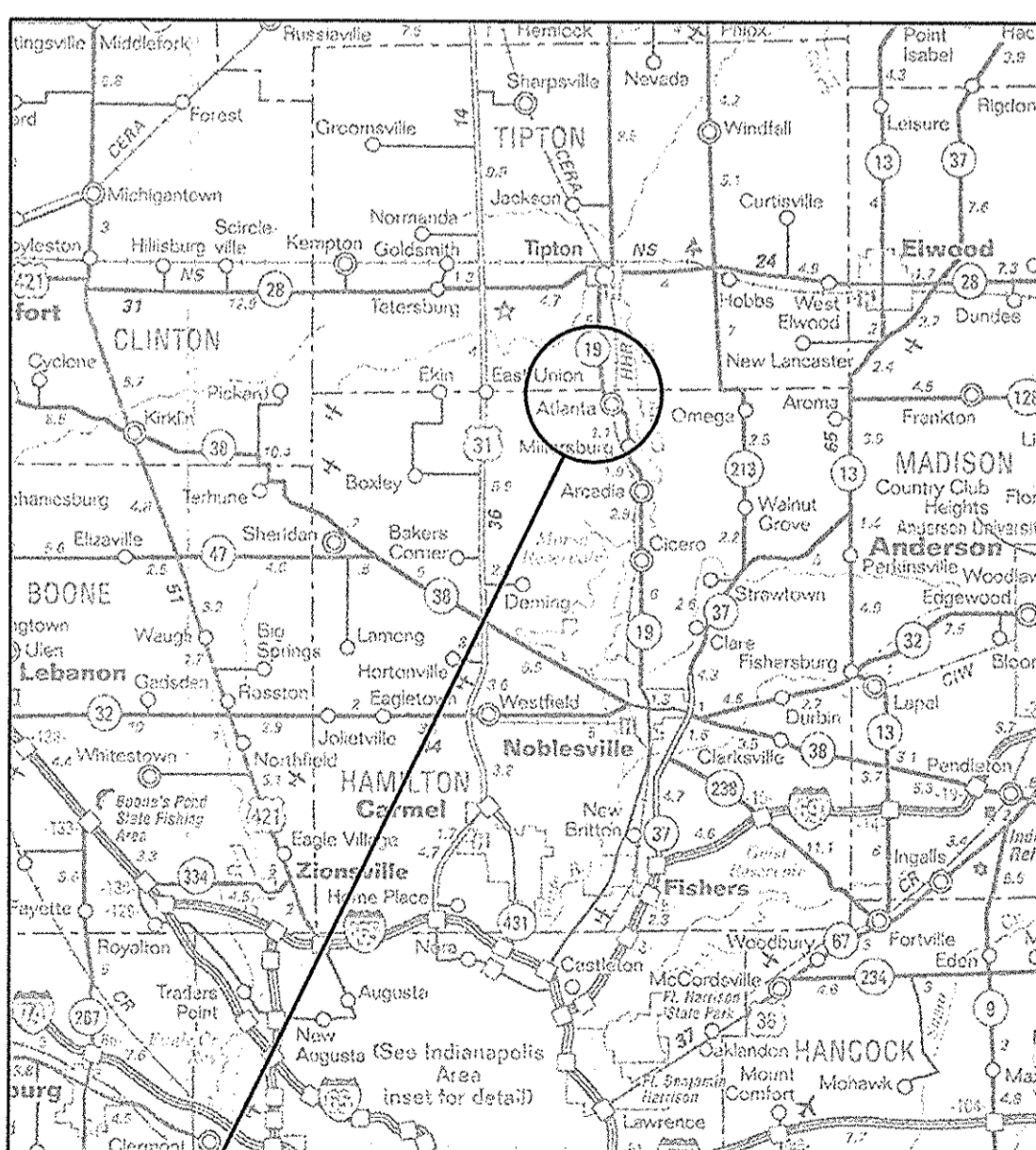


CONCRETE WASHOUT PIT SECTION
NOT TO SCALE



CURB INLET TEMPORARY PROTECTION DETAIL
NOT TO SCALE

1. FILL GEOTEXTILE BAGS APPROXIMATELY HALF FULL WITH 2 TO 3 INCH STONE OR GRAVEL AT A POSITION DOWNSLOPE OF THE LOT AND UPSLOPE OF THE INLET, LAY BAGS TIGHTLY IN A ROW CURVING UPSLOPE FROM CURB AND AWAY FROM INLET.
3. OVERLAP BAGS ONTO THE CURB AND EXTEND A MINIMUM OF 3 FEET INTO THE STREET.
4. FOR ADDITIONAL LAYERS, OVERLAP BAGS WITH THE ROW BENEATH, AND LEAVE A ONE-BAG GAP IN THE MIDDLE OF THE TOP ROW TO SERVE AS A SPILLWAY.
5. PLACE BAGS IN AN ARC AROUND CURB INLETS THAT ARE IN A SUMP POSITION.
6. SET UP SAFETY/TRAFFIC BARRIERS TO KEEP VEHICLES FROM HITTING BAGS, CAUSING POSSIBLE INJURY.
7. INSPECT AND REPAIR AS NEEDED, AND REMOVE ANY ACCUMULATED SEDIMENTS AFTER EVERY STORM.



(A4) VICINITY MAP
NOT TO SCALE



(A18) SOILS MAP
NOT TO SCALE

Map Unit Symbol	Map Unit Name
Br	Brookston silty clay loam
CrA	Crosby silt loam, 0 to 3 percent slopes
FxC3	Fox clay loam, 6 to 18 percent slopes, severely eroded
MmA	Miami silt loam, 0 to 2 percent slopes
MmB2	Miami silt loam, 2 to 6 percent slopes, eroded
MmC2	Miami silt loam, 6 to 12 percent slopes, eroded
MmD2	Miami silt loam, 12 to 18 percent slopes, eroded
Moc3	Miami clay loam, 6 to 12 percent slopes, severely eroded
MoD3	Miami clay loam, 12 to 18 percent slopes, severely eroded
OcA	Ockley silt loam, 0 to 2 percent slopes
OcB2	Ockley silt loam, 2 to 6 percent slopes, eroded
Or	Orthents
Pn	Patton silty clay loam
Sh	Shoals silt loam
St	Sleeth loam
Sx	Sloan silty clay loam, sandy substratum
We	Westland silty clay loam
Wh	Whitaker loam

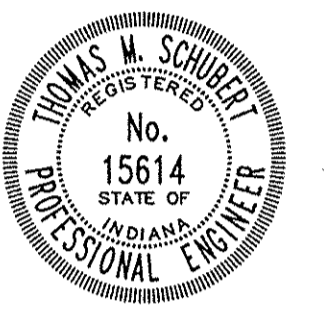
SOILS MAP UNIT SYMBOLS AND INFORMATION

CONSULTANT:

REVISIONS:

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EC3